

**AGENDA
REGULAR SESSION
HIGHLAND CITY COUNCIL
CITY HALL, 1115 BROADWAY
MONDAY, OCTOBER 17, 2022
7:00 PM**

NOTE: This is an in person meeting. However, anyone wishing to monitor the meeting via phone may do so by following the instructions on page 3 of this agenda.

CALL TO ORDER / ROLL CALL / PLEDGE OF ALLEGIANCE:

MINUTES:

MOTION – Approve Minutes of October 3, 2022 Regular Session (attached)

PUBLIC FORUM:

A. Citizens' Requests and Comments:

1. Augusta Estates HOA Fall Party - Special Event Application for Road Closure Request –Mark Olson, Representative (attached)

**Anyone wishing to address the Council on any subject may do so at this time.
Please come forward to the microphone.**

B. Requests of Council:

C. Staff Reports:

NEW BUSINESS:

- A. **MOTION** – Bill #22-151/ORDINANCE Approving Rezoning of Real Estate Located at 1007 Lindenthal Avenue from “R-3” Multifamily Residential to “R-1-D” Single Family Residential (attached)
- B. **MOTION** – Bill #22-152/ORDINANCE Annexing Certain Territory to the City, Owned by Highland Community Unit School District #5, Specifically:
PPN# 01-1-24-09-00-000-008 (attached)
- C. **MOTION** – Bill #22-153/RESOLUTION Making Separate Statement of Findings of Facts in Connection With Ordinance Granting Special Use Permit to Allow for a Public School Approximately 42.28 Acres Located at the Intersection of Poplar Street and Arkansas Road, PIN #01-1-24-09-00-000-008 (attached)
- D. **MOTION** – Bill #22-154/ORDINANCE Granting a Special Use Permit to Highland Community Unit School District #5 to allow for a Public School Approximately 42.28 Acres Located at the Intersection of Poplar Street and Arkansas Road, PIN #01-1-24-09-00-000-008 (attached)

Continued

- E. **MOTION** – Bill #22-155/RESOLUTION Approving Letter of Understanding with Illinois Department of Transportation for Improving 6.9 Miles of US 40 (attached)
- F. **MOTION** – Bill #22-156/ORDINANCE Amending Chapter 78, Article VII, Section 78-732, of the Code, Entitled Schedule of FTTP Rates and Charges, Creating New Fees and Services (attached)
- G. **MOTION** – Bill #22-157/RESOLUTION Accepting Cigna Healthcare for Medical Insurance and Metlife for Vision and Dental Insurance for 2022-2023(attached)
- H. **MOTION** – Bill #22-158/ORDINANCE Amending City Personnel Policy Manual to Include Updates According to Changes to Policy and Illinois Law (attached)

EXECUTIVE SESSION:

The City Council may conduct an Executive Session pursuant to the Illinois Open Meetings Act, only after citing the OMA exemption(s) allowing such meeting.

ADJOURNMENT:

Continued



Anyone requiring accommodations, provided for in the Americans with Disabilities Act (ADA), to attend this public meeting, please contact Breann Vazquez, ADA Coordinator, by 9:00 AM on Monday, October 17, 2022.

BE ADVISED this is a public meeting conducted in accordance with Illinois state law and may be recorded for audio and video content. City reserves the right to broadcast or re-broadcast the content of this meeting at City's sole discretion. City is not responsible for the content, video quality, or audio quality of any City meeting broadcast or re-broadcast.

Directions for Public Monitoring of Highland City Council Meetings:

In an effort to protect as many individuals as possible, including the leaders of our communities statewide, Governor J.B. Pritzker has issued a number of directives, one of which was to suspend the provisions of the Illinois Open Meetings Act (5 ILCS 120), requiring or relating to in-person attendance by members of a public body. Specifically, (1) the requirement in 5 ILCS 120/2.01 that “members of a public body must be physically present;” and (2) the conditions in 5 ILCS 120/7 limiting when remote participation is permitted, are suspended. Public bodies are encouraged to postpone consideration of public business where possible. When a meeting is necessary, public bodies are encouraged to provide video, audio, and/or telephonic access to their meetings to ensure members of the public may monitor the meeting, and to update their websites and social media feeds to keep the public fully apprised of any modifications to their meeting schedules or the format of their meetings due to COVID-19, as well as their activities relating to COVID-19.

In following this directive, the City of Highland is providing the following phone number for use by citizens to call in just before the start of this meeting:

618-882-5625

Once connected, you will be prompted to enter a conference ID number.

Conference ID #: 867900

This will allow a member of the public to hear the city council meeting.

Note: This is for audio monitoring of the meeting, only. Participants will not be able make comments.

Anyone wishing to address the city council on any subject during the Public Forum portion of the meeting may submit their questions/comments in advance via email to lhediger@highlandil.gov or, by using the citizens' portal on the city's website found here: https://www.highlandil.gov/citizen_request_center_app/index.php.

Any comments received prior to 3:00 PM on the day of the meeting, will be read into the record.



CITY OF HIGHLAND

SPECIAL EVENT APPLICATION

Authorized under City Ordinance Sec. 64-3-1

PURPOSE: The City of Highland supports various community activities and festivals throughout the year. Establishing public safety and coordinating needs between the events and the city are the overall goals of this process. It is the responsibility of the specific event Sponsors to obtain, complete, and follow through the application process for city approval.

SPECIAL EVENT: A “Special Event” is defined as: (1) any event, race, gathering, demonstration, or service; (2) that occurs partially or completely within the jurisdiction of the City of Highland; (3) is expected to draw crowds in excess of one hundred fifty (150) attendees; and (4) is expected to or could disrupt normal daily functions within the City of Highland including but not limited to traffic congestion and excess noise; or could create a public health/safety concern without proper precautions or prior planning. Specific examples would include (but are not limited to): The Kirchenfest, Schweizerfest, 5K runs, parades, Art in the Park, Fourth of July Festivities, Madison County Fair, etc. The City Manager will make the final determination as to whether an event qualifies. This will be based upon the totality of the circumstances presented.

PROCEDURE:

1. All Requests will be directed to Highland City Hall, to the attention of the Deputy City Clerk.
2. Applications will be available at Highland City Hall, Monday-Friday, 8:00 am to 5:00 pm or online through the City’s web site.
3. Applications will be completed by the Event Sponsor and submitted at least 60 days prior to the event. The application must be signed by the Event Sponsor Responsible Party. Incomplete applications will not be accepted. If an application is accepted and later determined to be incomplete, the applicant will be notified by the Deputy Clerk. Failure to provide information will result in denial of application.
4. The Deputy City Clerk will forward the application to all city departments that have responsibilities relating to the event. If necessary, a committee meeting involving the event Sponsor and city stakeholders may take place to clarify questions, determine specific needs, and address concerns.
5. The event Sponsor is required to obtain final approval for the special event from the City Manager. The City Council may announce the special event to the public at a scheduled Council meeting.

CITY OF HIGHLAND-SPECIAL EVENT APPLICATION

Name of Event: AUGUSTA ESTATES HOA FALL PARTY

Type/Purpose of Event: Festival Race Other Fundraiser Service Parade
 Demonstration Other (please specify): HOA SPONSORED HOMEOWNERS FALL PARTY

Location of Event: AUGUSTA ESTATES BETWEEN CROOKED STICK - WHISTLING STRAITS OR AUGUSTA

Sponsoring Organization/Individual: _____

Event Responsible Party: MARK OLSON
Address: 90 AUGUSTA DR
Phone(s): 618 447 3125
Email: tpointer52@gmail.com

Secondary Contact: JEFF NORGAAARD
Address: 100 AUGUSTA DR
Phone(s): 646 705 3208
Email: JEFFNORGAAARD@gmail.com

Date(s) of Set-up: 10-22-22

Event Date(s) / Times: 10-22-22 12p.m - 10p.m

Date(s) of Tear-down: 10-22-22

Expected Attendance: 50

Alcohol License Required: Yes No
If yes, application received: Yes No

Sound Amplification System utilized: Yes No
If yes, hours of operation: _____

Funding request of the Council: Yes No
Amount requested and purpose: _____

City Services Requested – Please attach additional documents (maps, detailed information), where needed. Write “Not applicable” if no services requested.

(Directors must initial behind requests)

Street Dept: Signage, Barricades, Street Closures (Specify): **Public Works Director:** _____

Electric Dept: Electrical Service, Lighting (Specify): **Electric Dept. Director:** _____

Not Applicable

Public Safety: Security, First Aid, Traffic Control (Specify): **Public Safety Director:** _____

Not Applicable

HCS Services: Wi-Fi or other technological needs (Specify): **HCS Director:** _____

Not Applicable

Other City Services: Restrooms, City Officials (Sign approval), Refuse Dumpsters (Specify):
Department: _____

Not applicable

Application Checklist (Attachments):

Deputy Clerk Initial
Upon receipt or waiver:

Certificate of Insurance: (attached) _____

- Must be General liability
- \$1 Million per occurrence/\$2 million aggregate
- City named as “additional insured” If Event is on city property.

Site Plan Rendering _____

Evacuation Plan _____

Fire Plan _____

Parking Plan _____

Schedule City Council Meeting for announcement _____

○ **Date:** 10/17/2022

Application Submittal (60+ days) _____



Event Sponsor Responsible Party

10-4-2022

Date

City Manager

Date

ORDINANCE NO. _____

AN ORDINANCE AMENDING ZONING CLASSIFICATION FROM “R-3” MULTI-FAMILY TO “R-1-D” SINGLE FAMILY FOR 1007 LINDENTHAL, HIGHLAND, ILLINOIS, PPN# 01-2-24-05-11-204-007

WHEREAS, the City of Highland, Madison County, Illinois (hereinafter “City”), is a non-home rule municipality duly established, existing and operating in accordance with the provisions of the Illinois Municipal Code (Section 5/1-1-1 *et seq.* of Chapter 65 of the Illinois Compiled Statutes); and

WHEREAS, Roger and Leeann Landmann, owners of 1007 Lindenthal, Highland, Illinois, PPN# 01-2-24-05-11-204-007 (hereinafter “Property”), request the Property be rezoned from R-3 Multi-family Residential to R-1-D Single Family Residential; and

WHEREAS, properties adjacent and in proximity to the Property are zoned:

Direction	Land Use	Zoning
North	Single-Family Residences	R-1-D
South	Single-Family Residences	R-1-D
East	Multi-Family Residences	R-3
West	Single-Family Residences	R-1-D

and

WHEREAS, the Property is currently denoted as “downtown” on the Comprehensive Plan’s Future Land Use Map, and will be recommended for change to R-1-C single-family residential on the Future Land Use Map should this zoning amendment be approved; and

WHEREAS, City Staff recommended to the Combined Planning and Zoning Board (“CPZB”) that it approve the Property being rezoned as stated herein (*See* Staff Report attached hereto as **Exhibit A**); and

WHEREAS, CPZB recommend to the City Council that it approve the Property being rezoned as stated herein (*See* CPZB Report attached hereto as **Exhibit B**); and

WHEREAS, the City Council finds it should approve the Property being rezoned as stated herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HIGHLAND AS FOLLOWS:

Section 1. The foregoing recitals are incorporated herein as findings of the City Council of the City of Highland, Illinois.

Section 2. City has determined City Staff recommended to the CPZB Board that it approve the Property being rezoned to R-1-C Single-family residential (*See Exhibit A*).

Section 3. City has determined CPZB recommend to the City Council that it approve the Property being rezoned to R-1-C Single-family residential (*See Exhibit B*).

Section 4. City Council approves the Property being rezoned to R-1-C Single-family residential.

Section 5. This ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as provided by law.

Passed by the City Council of the City of Highland, Illinois, and deposited and filed in the Office of the City Clerk, on the ____ day of _____, 2022, the vote being taken by ayes and noes, and entered upon the legislative records, as follows:

AYES:

NOES:

APPROVED:

Kevin B. Hemann
Mayor
City of Highland
Madison County, Illinois

ATTEST:

Barbara Bellm
City Clerk
City of Highland
Madison County, Illinois



City of Highland Building and Zoning

Meeting Date: October 5, 2022

From: Breann Vazquez, Director of Community Development

Location: 1007 Lindenthal Avenue

Zoning Request: Rezoning

Description: Rezoning from R-3 Multifamily Residential to R-1-D Single Family Residential

Proposal Summary

The applicants and property owners are Roger & Leeann Landmann. The applicants of this case are requesting the following rezoning:

- Rezone 11007 Lindenthal Avenue from R-3 Multifamily Residential to R-1-D Single Family Residential. PIN# 01-2-24-05-11-204-007

This property is currently a vacant lot that is zoned for multifamily uses. The rezoning is being requested in order to allow for the lot to be split into two single-family residential lots in the future.

Comprehensive Plan Consideration

The Comprehensive Plan and Future Land Use Map are considered policy guides to current and future development. While they do not have the force of an ordinance, it is generally recommended that municipalities adhere to the findings, policies, principals, and recommendations in these documents. Changes and deviations are permissible, but they should be reasonably justified.

The subject property is denoted as “downtown” on the Comprehensive Plan’s Future Land Use Map. Given that the downtown area contains a blend of businesses and residential neighborhoods, the rezoning conforms to the comprehensive plan.



City of Highland Building and Zoning

Zoning Map



Legend

- | | |
|--|--|
| Corporate Boundary | R-3 - Multiple Family Residence 60 FT. Lot Width |
| R-1-A - Single Family Residence 150 FT. Lot Width | C-2 - Central Business District No Lot Width Requirement |
| R-1-B - Single Family Residence 100 FT. Lot Width | C-3 - Highway Business District None |
| R-1-C - Single Family Residence 70 FT. Lot Width | C-4 - Limited Business No Lot Width Requirement |
| R-1-D - Single Family Residence 50 FT. Lot Width | I - Industrial District No Lot Width Requirement |
| R-2-A - Multiple Family Residence 70 FT. Lot Width | MX - Mixed Use |
| R-2-B - Multiple Family Residence 70 FT. Lot Width | Not In Corporate Limits |

Future Land Use Map



Future Land Use

- | | |
|--|----------------------|
| | Non-Urban/Ag |
| | Residential |
| | Med. Density Res. |
| | Multi-Family |
| | Institutional/Public |
| | Downtown |
| | Mixed Use |
| | Commercial |
| | Industrial |



City of Highland Building and Zoning

Standards of Review for Zoning Map Amendments and Findings of Fact

Below are the nine (9) consideration items listed in Section 90-88 of the Zoning Code which the Combined Planning and Zoning Board shall take into account while reviewing a zoning map amendment request.

1. Existing use and zoning of the property in question.
The property is currently a vacant lot and is zoned R-3.

2. Existing use and zoning of other lots in the vicinity of the property in question.

Direction	Land Use	Zoning
North	Single-Family Residences	R-1-D
South	Single-Family Residences	R-1-D
East	Multi-Family Residences	R-3
West	Single-Family Residences	R-1-D

3. The extent to which the zoning map amendment may detrimentally affect nearby properties.
Nearby property will not be negatively affected. This area is zoned R-1-D with the exception of R-3 to the east, and R-1-D is the more restrictive of the two districts.
4. Suitability of the property in question for uses already permitted under existing requirements.
R-3 is primarily for multifamily uses and, therefore, is not the most appropriate zoning classification to allow for future single-family residential lots.
5. Suitability of the property in question for the proposed uses.
The property is suitable for single-family residences.
6. The type, density and character of development in the vicinity of the property in question, including changes, if any, which may have occurred since the property was initially zoned or last rezoned.
The proposed zoning goes with the character of the area.
7. The effect the proposed map amendment would have on the implementation of the City's Comprehensive Plan.
The proposed map amendment is consistent with the City's Comprehensive Plan.
8. The effect the proposed map amendment would have on public utilities, other needed public services and traffic circulation on nearby streets.
There would not be a negative effect on public utilities, other needed public services and traffic circulation on nearby streets.
9. Whether the map amendment will promote the health, safety, quality of life, comfort and general welfare of the city.
The map amendment will promote the health, safety, quality of life, comfort and general welfare of the city.



City of Highland Building and Zoning

Staff Discussion

This is a residential area in which R-1-D zoned parcels are to the north, south and west of the property. The City encourages single-family residential construction and supports the rezoning to allow for an additional single-family parcel within City limits.

Aerial Photograph





City of Highland
Building and Zoning

Exhibit "C"
Determination for Zoning Text Amendment

On October 5, 2022, the City of Highland Combined Planning and Zoning Board at its regular meeting approved/denied a Zoning Map Amendment for the following:

Roger and Leeann Landmann (property owners) request to rezone property at 1007 Lindenthal Avenue (Property ID number 01-2-24-05-11-204-007) from R-3 Multi-family Residential to R-1-D single-family residential.

The City Council will consider the recommendation of the Combined Planning and Zoning Board at the October 17, 2022 meeting of the City Council.

In recommending Approval (action) of this Zoning Text Amendment, the Combined Planning and Zoning Board considered all standards listed in the zoning regulation and all other conditions listed for that use in other sections of these regulations. In addition, the Combined Planning and Zoning Board found that the proposed use did/did not provide safeguards to assure its compatibility with the surrounding area.

Conditions (if any): NONE

Anthony Walker
Chairperson of the Combined Planning and Zoning Board

10/5/22
Date

EXHIBIT "A"

Zoning Map Amendment Rezoning Application

Return Form to:

Administrative Official
City of Highland
2610 Plaza Drive
Highland, IL 62249
(618) 654-9891
(618) 654-1901 (fax)

For Office Use Only

Date Submitted: _____
Filing Fees: _____
Date Paid: _____
Date Advertised: _____
Date Notices Sent: _____
Public Hearing Date: _____
Zoning File #: _____

APPLICANT INFORMATION:

Applicant: Roger & Leeann Landmann Phone: 314=378-2061
Address: 1501 Washington Street, Highland, IL Zip: 62249
Email Address: rogerlandmann@hotmail.com
Owner: SAME Phone: _____
Address: _____ Zip: _____
Email Address: Roger Landmann @ Hotmail . com

PROPERTY INFORMATION:

Street Address or Parcel ID of Property: 1007 Lindenthal Ave.; PIN# 01-2-24-05-11-204-007

Property is Located In (Legal Description): Attached

Present Zoning R-3 Requested Zoning: R-1-D Acreage: approx 0.6

Present Use of Property: vacant lot

SURROUNDING LAND USE AND ZONING:

	<u>Land Use</u>	<u>Zoning</u>
North	<u>Single-Family Residences</u>	<u>R-1-D</u>
South	<u>Single-Family Residence</u>	<u>R-1-D</u>
East	<u>Multi-Family Residences</u>	<u>R-3</u>
West	<u>Single-Family Residence</u>	<u>R-1-D</u>

RELATIONSHIP TO EXISTING ZONING PATTERN:

1. Would the proposed change create a small, isolated district unrelated to surrounding districts? Yes _____ No If yes, explain: _____

2. Are there substantial reasons why the property cannot be used in accordance with existing zoning? Yes No _____ If yes, explain: _____

The property owners would like to build a single-family residence on the lot in the future and are requesting single-family zoning. They may later subdivide the lot to allow for two single-family residential lots.

CONFORMANCE WITH COMPREHENSIVE PLAN:

1. Is the proposed change consistent with the goals, objectives and policies set forth in the Comprehensive Plan? Yes No _____
2. Is the proposed change consistent with the Future Land Use Map? Yes No _____

UNIQUE CHARACTERISTICS OF PROPERTY AND ADDITIONAL COMMENTS:

Attached Letter

THE FOLLOWING ITEMS MUST ACCOMPANY YOUR APPLICATION:

1. One copy of a legal description AND warranty deed of the property proposed to be rezoned. If the applicant is not the property owner, a notarized letter from the property owner granting the applicant permission to apply for the request will be required.
2. A current plat, site plan, survey, or other professional illustration.
3. One copy of a narrative statement describing the impact of the proposed change, including the purpose of the request, the desired land use, any traffic conditions that may result, how the proposed change may affect the character of the surrounding properties, and how the proposed change will benefit the City of Highland.
4. If the proposed zoning is a Planned Use or requires a special use permit, the rezoning application shall be accompanied by a use permit application defining the specifically requested use or list of uses.
5. Application fee.
6. Any other information required by planning staff (i.e. landscaping plan, elevation plan, exterior lighting plan, etc).

City of Highland
Department of Community Development
Building and Zoning Division

The application attached is for the rezoning of **1007 Lindenthal St** from multifamily to R-1-D zoning. This plot of land is on the Northeast corner of Lindenthal and Washington and is currently vacant. The lot is equivalent to 3.8 lots under the R-1-D measurements and the plan is to divide the lot into two single family home lots. One lot would face Lindenthal and the second lot would face Washington St. Madison County had indicated that splitting the lot will work for them, but the first step in this process would be to get the rezoning to R-1-D by Highland.

Rezoning of this lot to R-1-D fits into Highland's development plan and helps increase the number of single-family lots available. The tracks of land on three of the four sides of this lot are already zoned at R-1-D. My wife and I currently live in this neighborhood (1501 Washington St), and every neighbor contacted to date prefer the lot to be rezoned single family. The rezoning should have no impact on traffic as the addition of one or two single family homes will be negligible to traffic on that area.

The plan (attached in this packet) is to build a single-family home which is handicap accessible and ADA complaint on the Lindenthal facing lot in 2023. The handicap accessible home is necessary for recent family developments, and we would like to stay in the neighborhood. There are few zero entry, handicap accessible homes in this section of town.

One of the important components to make this home better for handicap accessibility is to have a driveway access to Lindenthal for the lot that will be facing Lindenthal. Here is why Lindenthal driveway access is critical:

- The Lindenthal lot will not have access to the alley (Washington St lot will be blocking)
- A Washington street access on the Lindenthal lot would have to be within 40 ft from the corner of Washington and Lindenthal which increase risk
- Washington street, N of Lindenthal intersection is busier versus Lindenthal St due to traffic that stays on Washington st
- There are currently 5 other homes with driveways onto Lindenthal
- The driveway requested would be at the center of the block, 160 feet from either intersection, and where alley access on all the other blocks on Lindenthal exist. This is the only block without center alley access for home garages on Lindenthal.
- Due to the nature of the handicap person and their future mobility needs, a long driveway leading a cinder rocked alley is not ideal. A driveway leading to a sidewalk is idea of mobility devices
- Trash pickup – there is trash pickup on this section of Washington St on both sides of the street on Mondays. The street route starts a one door down so this will fit into this Monday route with changes

Sincerely,

Roger & LeeAnn Landmann
1501 Washington St
Highland IL, 62249
314-378-2061

150.00'

72.28'

76.28'

PROPOSED LOT SPLIT LINE

141.28'

10' SETBACK

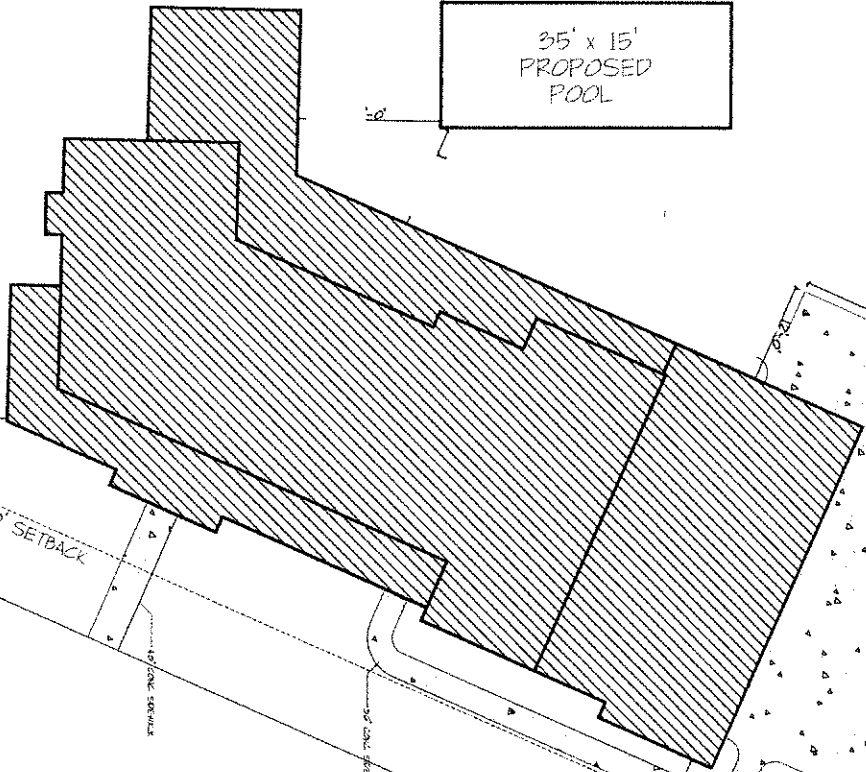
35' x 15'
PROPOSED
POOL

207.03'

69.00'

150.75'

10' SETBACK



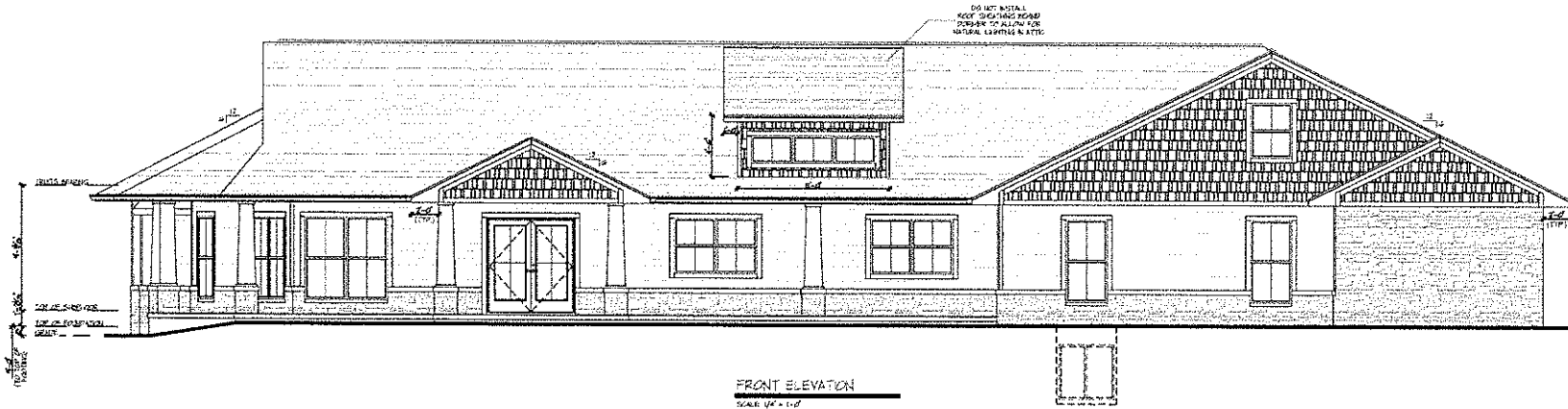
163.99'

5' SETBACK

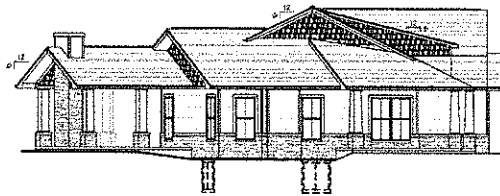
10' SIDE SETBACK

5' SIDE SETBACK

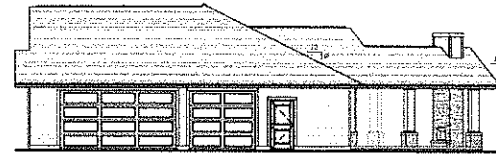
12'-0\"/>



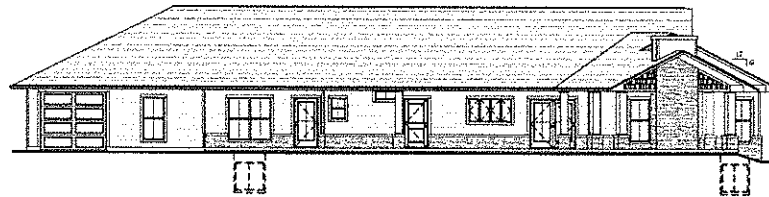
FRONT ELEVATION
SCALE 1/2" = 1'-0"



LEFT ELEVATION
SCALE 1/2" = 1'-0"



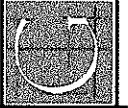
RIGHT ELEVATION
SCALE 1/2" = 1'-0"



REAR ELEVATION
SCALE 1/2" = 1'-0"

WE HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREON IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF. WE FURTHER CERTIFY THAT THE INFORMATION CONTAINED HEREON IS NOT A CONTRACT AND IS NOT TO BE USED AS SUCH. ANY CONTRACTS SHALL BE BASED ON THE CONTRACT DOCUMENTS AND NOT ON THIS DRAWING. ANY CHANGES TO THE CONTRACT DOCUMENTS SHALL BE MADE BY A WRITTEN AMENDMENT. ANY CHANGES TO THE CONTRACT DOCUMENTS SHALL BE MADE BY A WRITTEN AMENDMENT. ANY CHANGES TO THE CONTRACT DOCUMENTS SHALL BE MADE BY A WRITTEN AMENDMENT. ANY CHANGES TO THE CONTRACT DOCUMENTS SHALL BE MADE BY A WRITTEN AMENDMENT.

GERSTNER
Drafting & Design
13375 Mary Lane, Aviston, IL 62216
gerstnerdrafting@gmail.com (618) 514-0900



ROGER & LEANN
LANDMANN

NO.	REVISIONS

DATE: 5/20/2022
DRAWN BY: PRAYO-GERSTNER
3 OF 3

ORDINANCE NO. _____

**AN ORDINANCE ANNEXING CERTAIN TERRITORY TO THE CITY OF
HIGHLAND, MADISON COUNTY, ILLINOIS, OWNED BY
HIGHLAND COMMUNITY UNIT SCHOOL DISTRICT #5,
SPECIFICALLY: PPN# 01-1-24-09-00-000-008**

WHEREAS, the City of Highland, Madison County, Illinois (hereinafter "City"), is a non-home rule municipality duly established, existing and operating in accordance with the provisions of the Illinois Municipal Code (Section 5/1-1-1 et seq. of Chapter 65 of the Illinois Compiled Statutes); and

WHEREAS, Highland Community Unit School District #5 (hereinafter "Owner"), is the owner of record of certain land shown on the plat of annexation attached hereto as **Exhibit A**; and

WHEREAS, City has determined it to be in the best interests of public health, safety, general welfare and economic welfare to annex certain territory into City, including:

Part of the South half of the Northwest Quarter of Section 9, Township 3 North, Range 5 West of the Third Principal Meridian, County of Madison, State of Illinois, and being more particularly described as follows:

Commencing at the Northwest corner of the Southwest Quarter of the Northwest Quarter of said Section 9; thence North 89 degrees 54 minutes 43 seconds East on the north line of said quarter section, a distance of 25.00 feet to the Point of Beginning and being more particularly described as follows:

Beginning at a found 1/2" iron rod; thence North 89 degrees 54 minutes 43 seconds East on said north Quarter line, a distance of 1,620.08 feet; thence South

01 degrees 43 minutes 09 seconds East, 962.38 feet; thence South 89 degrees 47 minutes 17 seconds West, 493.54 feet; thence South 00 degrees 01 minutes 04 seconds East, 42.39 feet; thence North 89 degrees 51 minutes 00 seconds West, 303.39 feet; thence South 03 degrees 31 minutes 25 seconds West, 292.35 feet; thence South 89 degrees 47 37 seconds West on a line 25.00 feet northerly of and parallel with the South line of the Southwest Quarter of the Northwest Quarter of Section 9, of and parallel with the West line of the Southwest Quarter of the Northwest Quarter of said Section 9, a distance of 1,298.18 feet to the Point of Beginning.

Said parcel contains 42.28 acres, more or less.

Subject to easements, conditions and restrictions of record.

Including any public right of way adjoining the subject parcel not currently within the corporate limits of any municipality.

Except therefrom any part of the subject parcel within the corporate limits of any municipality.

hereinafter “Annexed Property” and attached hereto as **Exhibit B**; and

WHEREAS, Owner has filed with City, pursuant to Section 7-1-8 of the Illinois Municipal Code (65 ILCS 5/7-1-8), a Petition for Annexation of a tract of land approximately 42.28 acres in size; and

WHEREAS, all electors, if any, residing within the Annexed Property have been notified; and

WHEREAS, the Annexed Property is contiguous to the Corporate Limits of City; and

WHEREAS, the Annexed Property is not currently a part of any other city, town, or village, and may be annexed to City as provided in Section 7-1-8 of the Illinois Municipal Code (65 ILCS 5/7-1-8); and

WHEREAS, the Corporate Authorities, after due and careful consideration, have concluded that the annexation of the Annexed Property to City would further the growth of City, enable City to control the development of the area, and serve the best interests of City; and

WHEREAS, Section 90-115, “Annexed territory,” of the *Code of Ordinances, City of Highland, Illinois*, provides,

All property that is annexed to the city following the effective date of the ordinance from which this chapter derives, shall be annexed as R-1-C residential district. Nothing in this section should be construed to prevent the use of annexation agreements as set out in the state statutes;

and

WHEREAS, the legal notice regarding the intention of City to annex the said territory has been given to all public bodies and persons required to receive such notice by state statute; and

WHEREAS, the Annexed Property is now in the Highland-Pierron Fire Protection District; and

WHEREAS, City has notified all the trustees of the Highland-Pierron Fire Protection District, in writing by certified mail, at least ten (10) days in advance of the City Council's consideration of this Ordinance; and

WHEREAS, the Annexed Property is in Helvetia Township; and

WHEREAS, City has notified the Township Commissioner of Highways, the Board of Town Trustees, the Township Supervisor, and the Township Clerk of Helvetia Township in writing by certified mail, at least ten (10) days in advance of the City Council's consideration of this Ordinance; and

WHEREAS, the City of Highland will record in the Madison County Recorder's Office an affidavit that service of such notices has been made as provided by Section 7-1-1 of the Illinois Municipal Code (65 ILCS 5/7-1-1); and

WHEREAS, City Council has determined it is in the best interests of public health, safety, general welfare and economic welfare to annex the Annexed Property into City.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HIGHLAND, ILLINOIS AS FOLLOWS:

Section 1. That the foregoing recitals be and are hereby incorporated in this Ordinance.

Section 2. The Annexed Property, the boundaries of which are shown in the Plat of Annexation and attached hereto as **Exhibit A**, and the boundaries of which are shown in the Legal Description attached hereto as **Exhibit B**, is hereby annexed to the City of Highland, Illinois, an Illinois municipal corporation.

Section 3. A copy of this Ordinance shall be recorded in the Madison County, Illinois, Recorder's Office.

Section 4. A copy of this Ordinance shall also be filed with the County Clerk of Madison County, Illinois.

Section 5. The City Clerk shall also, within thirty (30) days of the annexation, report the annexation by certified or registered mail to the election authorities having jurisdiction in the territory annexed and the post office branches serving the territory annexed.

Section 6. This ordinance shall take effect immediately upon its passage and approval.

Passed by the City Council of the City of Highland, Illinois, and deposited and filed in the Office of the City Clerk, on the ____ day of _____, 2022, the vote being taken by ayes and noes, and entered upon the legislative records, as follows:

AYES:

NOES:

APPROVED:

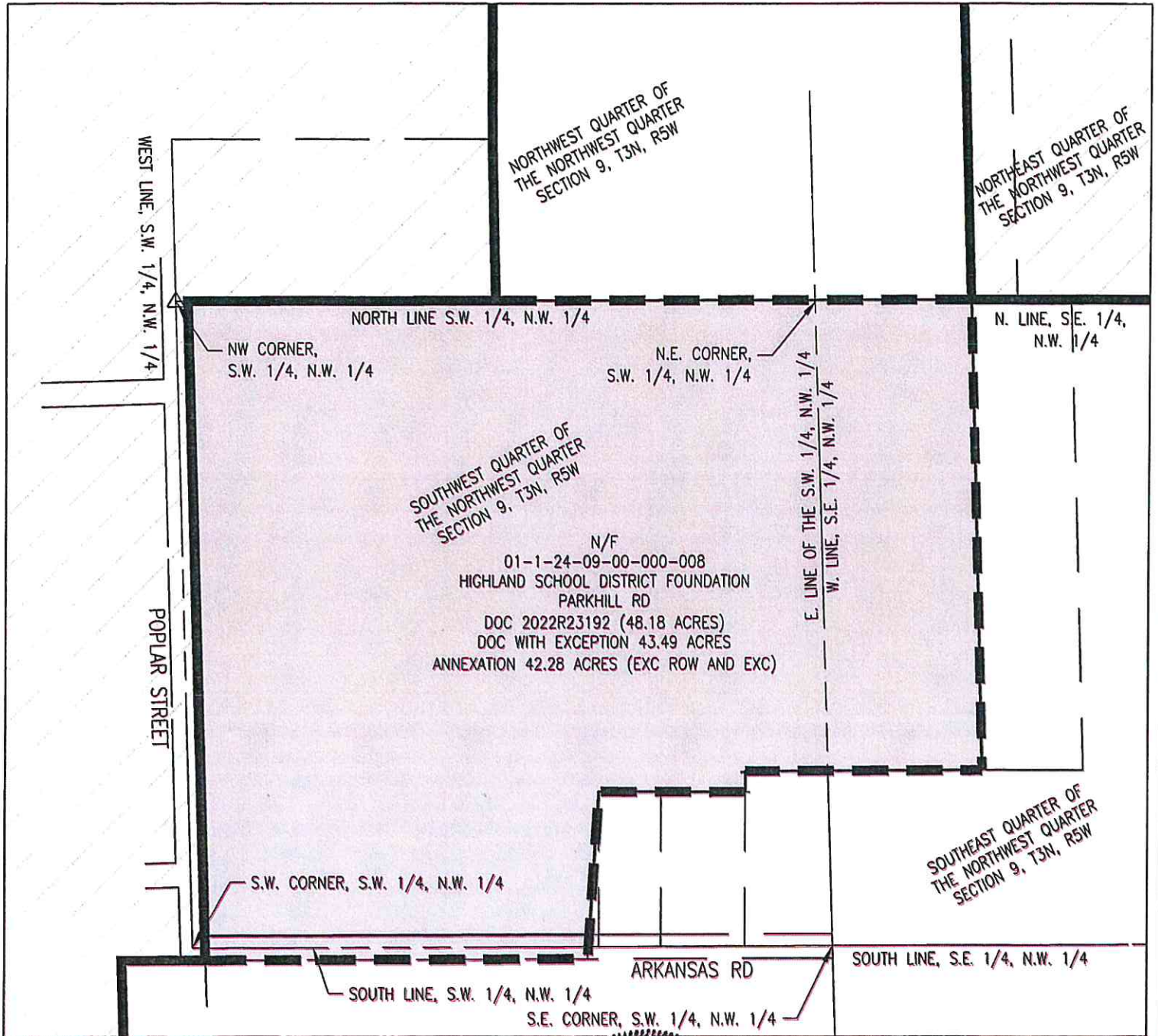
Kevin B. Hemann
Mayor
City of Highland
Madison County, Illinois

ATTEST:

Barbara Bellm
City Clerk
City of Highland
Madison County, Illinois

EXHIBIT C

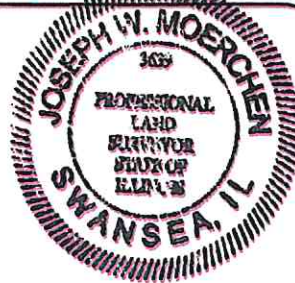
PLAT OF ANNEXATION FOR CITY OF HIGHLAND, ILLINOIS



CERTIFICATION

THIS IS TO CERTIFY THAT "THOUVENOT, WADE & MOERCHEN, INC." HAS PREPARED THIS PLAT FOR ANNEXATION TO CITY OF HIGHLAND, COUNTY OF MADISON, STATE OF ILLINOIS.

Joseph W. Moerchen
 JOSEPH W. MOERCHEN
 I.P.L.S. # 3639



SIGN. DATE: 8/26/2022
 EXP. DATE 11-30-2022

LEGEND:

- EXIST. CORP. LIMITS
- PRO. CORP. LIMITS
- AREA TO BE ANNEXED
- EXISTING CITY OF HIGHLAND LIMITS



THOUVENOT, WADE & MOERCHEN, INC.
 SWANSEA OFFICE
 4940 OLD COLLINSVILLE RD, SWANSEA, ILLINOIS 62226
 PHONE (618) 624-4488 FAX (618) 624-6688



SCALE:
 1" = 300'



City of Highland Building and Zoning

August 29, 2022

To: Chris Conrad, City Manager

From: Breann Vazquez, Director of Community Development

RE: Annexation of Part of PIN# 01-1-24-09-00-000-008

I recommend the annexation of part of PIN# 01-1-24-09-00-000-008, which is located at the intersection of Poplar Street and Arkansas Rd, as shown below.

Highland Community Unit School District #5 is the owner of the parcel. The district is petitioning to annex the western 42.28 acres of the 48.2 acre tract. The zoning will default to R-1-C upon annexation and there are no plans to rezone. Given that public schools are a Special Use within the R-1-C zoning district, the district is also applying for a Special Use Permit for a public school for the portion of the parcel to be annexed in order to construct a new primary school.



PETITION FOR ANNEXATION

TO THE HONORABLE MAYOR AND CITY COUNCIL OF THE CITY OF HIGHLAND, ILLINOIS:

Your Petitioner, Highland Community Unit School District #5, as owner of the property having PIN# 01-1-24-09-00-000-008, respectfully petitions The Honorable Mayor and City Council of the City of Highland, Illinois, that the property described in Exhibit A attached hereto and made part hereof be annexed to the City of Highland of Madison County, Illinois, if or when a certain Annexation Agreement concerning this said real estate between Petitioner and said City be approved and executed by all parties.

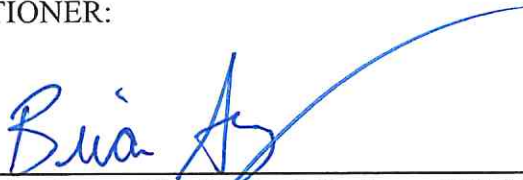
Your petitioner respectfully represents and states as follows:

1. That the above described territory is not within the corporate limits of any municipality.
2. That the said territory is contiguous to the City limits of the City of Highland, Illinois.
3. That your petitioner is the sole owner of record of the said land and that there are no electors residing on the said described territory.

WHEREFORE, your petitioner respectfully petitions The Honorable Mayor and City Council of the City of Highland, Illinois that the above described territory may be annexed to the City of Highland, Madison County, Illinois, upon approval and execution of a certain Annexation Agreement concerning this real estate.

DATE: August 26, 20 22.

PETITIONER:



Brian Arteberry, Chief School Business Official
Highland Community Unit School District #5

STATE OF ILLINOIS }
 }
COUNTY OF MADISON }

SS

I, a Notary Public, in and for said county and state aforesaid, DO HEREBY CERTIFY, that Brian Arkebary personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that she signed, sealed and delivered the said instrument of writing as her free and voluntary act for the uses and purposes therein set forth.

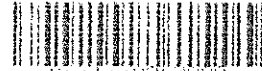
Given under my hand and Notarial Seal this 26 day of August, 2022



Alyssa Duffin
Notary Public

1 of 1

Charge & Return To:
Highland Community Title
901 Main Street
Highland, IL 62249



10010001 7000
1011000000

1002000000
STATE OF ILLINOIS
HIGHLAND COUNTY
CLERK & RECORDER
CLERK & RECORDER
CLERK & RECORDER
CLERK & RECORDER
CLERK & RECORDER
CLERK & RECORDER
CLERK & RECORDER
CLERK & RECORDER
CLERK & RECORDER

H220301

50.00

Re-Record Deed

This Deed is being re-recorded to correct the Grantees.

This is added to provide adequate space for information and microfilming.

Return this document to:
Community Title, LLC
901 Main St
Highland, IL 62249

EXEMPTION

"Exempt under provisions of Paragraph
D, Section 31-45 of the Real Estate
Transfer Tax Law (35 ILCS 200/31-45)"

7/10/22
Date

[Signature]
Buyer, Seller or Representative

WJ

H220301

THE ABOVE SPACE FOR RECORDER'S USE ONLY

LIMITED LIABILITY COMPANY WARRANTY DEED

THIS INDENTURE WITNESSETH, That the

Grantor:

LMR GST Family II, LLC, an Illinois limited liability company

a limited liability company duly organized and existing under and by virtue of the laws of the State of **Illinois**, and duly authorized to transact business in the State where the following described real estate is located, for and in consideration of One Dollar and other good and valuable considerations, the receipt of which is hereby acknowledged, and pursuant to authority given by the Member(s)/Manager(s) of said limited liability company, CONVEYS and WARRANTS to

Grantee:

Highland Community Unit School District #5

whose address is: **400 Broadway Highland, IL 62249**

the following described real estate commonly known as **Parkhill Rd., Highland See Exhibit A for Legal Description**

situated in the County of **Madison** in the State of Illinois.

1 of 1

Charge & Return To:
Highland Community Title
901 Main Street
Highland, IL 62249



2023R12174
STATE OF ILLINOIS
FUNDING COUNTY

CLERK & RECORDER
REC FEE: \$0.10
CLERK FEE: \$0.10
STAMP FEE: \$19.50
TOTAL FEE: \$39.70

H220301

THE ABOVE SPACE FOR RECORDER'S USE ONLY

50.00

LIMITED LIABILITY COMPANY WARRANTY DEED

THIS INDENTURE WITNESSETH, That the

Grantor:

LMR GST Family II, LLC, an Illinois limited liability company

a limited liability company duly organized and existing under and by virtue of the laws of the State of Illinois, and duly authorized to transact business in the State where the following described real estate is located, for and in consideration of One Dollar and other good and valuable considerations, the receipt of which is hereby acknowledged, and pursuant to authority given by the Member(s)/Manager(s) of said limited liability company, CONVEYS and WARRANTS to

Grantee:

Highland School District Foundation, an Illinois not-for-profit corporation

whose address is: , ,

the following described real estate commonly known as Parkhill Rd., Highland Sec Exhibit A for Legal Description

situated in the County of Madison in the State of Illinois.

IN WITNESS WHEREOF, said Grantor has caused its name to be signed by the parties below on this 4th day of April, 2022.

LMR GST Family II, LLC, an Illinois limited liability company

LMR GST Family II, LLC, an Illinois limited liability company

By: [Signature]
Michael G. Rehkemper Manager/Member

By: [Signature]
Sandra K. Rehkemper, Manager/Member

STATE OF ILLINOIS)
COUNTY OF Madison) SS

I, the undersigned, a Notary Public, in and for said County and State aforesaid, do hereby certify that Michael G. Rehkemper and Sandra K. Rehkemper, known to me to be the Member(s)/Manager(s) of the limited liability company, and known to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that they signed and delivered the said instrument pursuant to authority, given by the Member(s)/Manager(s) of said limited liability company as their free and voluntary act, and as the free and voluntary act and deed of said limited liability company, for the uses and purposes therein set forth.

Given under my hand and Notarial Seal this 4th day of April, 2022.

My commission expires



[Signature]
Notary Public

<p>THIS INSTRUMENT PREPARED BY Mottaz Law Office 2600 D. State Street Alton, IL 62002</p>	<p>FUTURE TAX BILLS should be sent to: Highland School District Foundation, an Illinois not-for-profit corporation 400 Broadway Highland, IL. 62249 Highland Community Unit School District #5</p>
---	--

PLEASE RETURN THIS DOCUMENT TO:

Re: H220301
Highland Community Title, LLC
 901 Main Street
 Highland, IL. 62249

Exhibit A

Part of the Northwest Quarter of Section 9, Township 3 North, Range 5 West of the Third Principal Meridian, Madison County, Illinois, described as follows: Beginning at the Southwest corner of said Northwest 1/4; thence, N. 00°29'22"E., (bearing assumed) along the West line of said Northwest 1/4, 1323.12 feet; thence, S. 87°58'07"E., 321.42 feet to a point on the North line of the South 1/2 of said Northwest 1/4; thence, S. 87°46'49"E., along said North line, 1535.96 feet; thence, S. 00°33'36"W., 961.65 feet; thence, N. 87°55'58"W., 705.82 feet; thence, S. 02°02'45"W., 42.33 feet to the Northeast corner of a tract of land deeded to Sandra Miller and Charles Christopher Miller, recorded as Deed Record 2010R08100 in the Madison County, Illinois, Recorder's Office; thence, N. 87°56'13"W., collinear with the North line of said Miller tract, 304.23 feet to the Northwest corner of a tract of land deeded to Francis Isert and Marie Isert, recorded in Deed Book 1657, Page 196 in said Madison County, Illinois, Recorder's Office; thence, S. 05°40'46"W., 315.63 feet to a point on the South line of said Northwest 1/4; thence, N. 87°56'13"W., along said South line, 816.33 feet to the point of beginning.

Except any interest in the coal, oil, gas and other mineral rights underlying the land which have been heretofore conveyed or reserved in prior conveyances, and all rights and easements in favor of the estate of said coal, oil gas and other minerals, if any.

Situated in Madison County, Illinois

PPN: 01-1-24-09-00-000-008

IDENT: 2020R11001



**THIS IS A LEGAL DOCUMENT - CONSULT YOUR PRIVATE ATTORNEY
AFFIDAVIT TO COMPLY WITH PLAT ACT AND TRACT
SURVEY REQUIREMENTS**

Affiant is (agent for) (an officer of) (one of) the grantor(s) in a (deed) (lease) (contract) transferring interest in the real estate described in the accompanying document. Affiant further states this transfer is exempt from the Illinois Plat Act because it is:

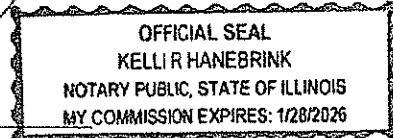
- (X) A. NOT A DIVISION OF LAND (parcel lines unchanged) () C. DIVISION FOR TAXING PURPOSES ONLY (parcel lines change)
- () B. A DIVISION OF LAND THAT MEETS ONE OF THE FOLLOWING EXCEPTIONS TO THE PLAT ACT:
- ___ 1. A DIVISION OR SUBDIVISION OF LAND INTO TRACTS OF 5 ACRES OR MORE NOT INVOLVING NEW STREETS OR EASEMENTS OF ACCESS WITH A MINIMUM OF FIVE (5) ACRES RESIDUE OR GRANDFATHERED UNDER PRIOR APPROVED PLAT BY LAND USE COMMITTEE.
 - ___ 2. A DIVISION OR LOTS OR BLOCKS OF LESS THAN 1 ACRE IN A RECORDED SUBDIVISION NOT INVOLVING NEW STREETS OR EASEMENTS OF ACCESS.
 - ___ 3. A SALE OR EXCHANGE OF LAND BETWEEN OWNERS OF ADJOINING AND CONTIGUOUS LAND.
 - ___ 4. A CONVEYANCE OF LAND FOR USE AS A RIGHT OF WAY FOR PUBLIC UTILITIES AND OTHER PIPELINES NOT INVOLVING NEW STREETS OR EASEMENTS OF ACCESS.
 - ___ 5. A CONVEYANCE OF LAND OWNED BY A PUBLIC UTILITY NOT INVOLVING NEW STREETS OR EASEMENTS OF ACCESS.
 - ___ 6. A CONVEYANCE OF LAND FOR HIGHWAY OR OTHER PUBLIC PURPOSE OR RELATING TO A DEDICATION OF LAND FOR OR VACATION OF LAND SUBJECT TO A PUBLIC USE.
 - ___ 7. A CONVEYANCE TO CORRECT DESCRIPTION IN PRIOR CONVEYANCE.
 - ___ 8. THE SALE OR EXCHANGE OF PARCELS OF LAND FOLLOWING THE DIVISION INTO NO MORE THAN 2 PARTS OF A PARCEL EXISTING ON 7/17/59 AND INVOLVING NO NEW STREETS OR EASEMENTS OF ACCESS.
 - ___ 9. THE SALE OF A SINGLE LOT/TRACT LESS THAN 5 ACRES FROM A LARGER TRACT. (EXCEPTION ONLY APPLIES TO THE 1ST LOT CONVEYED UNDER 5 ACRES FROM A LARGER TRACT AS IT EXISTED ON 10/1/73). (THE SINGLE TRACT OF LESS THAN 5 ACRES MUST HAVE BEEN SURVEYED BY AN ILLINOIS REGISTERED LAND SURVEYOR WHOSE SURVEY MUST HAVE BEEN RECORDED OR ACCOMPANY THE DEED.)

**IF "A" IS MARKED ABOVE, APPROVAL BY THE MAPS & PLATS GIS DIVISION IS NOT REQUIRED.
IF "B OR C" IS MARKED ABOVE, APPROVAL BY THE MAPS & PLATS GIS DIVISION IS REQUIRED.**

Under penalties of perjury I swear that the statements contained here are true and correct.

LMR GST Family II, LLC, an Illinois
limited liability company

_____ X By: [Signature] Date: 4/4/22



H220301

Subscribed and sworn to before me: 4/4/22
[Signature]
Notary Public

All divisions of less than 2 acres within the County jurisdiction must be reviewed by the Madison County Planning and Development Department

This affidavit only ensures the Recorder's Office compliance with the State Plat Act. If the property is located within a municipality or within 1.5 miles of a municipality, local ordinances may apply. *If exception 9 is used*, it is required that this land division be reviewed & approved by the participating municipality. Each municipality has five (5) business days to review deed(s) and return. If the five day limit expires, Maps & Plats will process the deed upon proof of date submitted to municipality.

Date Submitted to Municipality (s) _____ Please Check One () Municipality Jurisdiction () County Jurisdiction
Municipality(s) With Jurisdiction _____

_____	_____	_____
Municipal Planning Officials Signature	Print Name	Date
_____	_____	_____
Municipal Planning Officials Signature	Print Name	Date

END OF DOCUMENT



CONSULTING ENGINEERING
GEOSPATIAL SERVICES

THOUVENOT, WADE & MOERCHEN, INC.

CORPORATE OFFICE
4940 OLD COLLINSVILLE ROAD
SWANSEA, IL 62226
618.624.4488
TWM-INC.COM

EXHIBIT B

**Highland School District Foundation
Highland, Madison County, IL
TWM-Proj Number 220839
Part of Parcel No. 01-1-24-09-00-000-008**

RE: Annexation Description

Part of the South half of the Northwest Quarter of Section 9, Township 3 North, Range 5 West of the Third Principal Meridian, County of Madison, State of Illinois, and being more particularly described as follows:

Commencing at the Northwest corner of the Southwest Quarter of the Northwest Quarter of said Section 9; thence North 89 degrees 54 minutes 43 seconds East on the north line of said quarter section, a distance of 25.00 feet to the Point of Beginning and being more particularly described as follows:

Beginning at a found 1/2" iron rod; thence North 89 degrees 54 minutes 43 seconds East on said north Quarter line, a distance of 1,620.08 feet; thence South 01 degrees 43 minutes 09 seconds East, 962.38 feet; thence South 89 degrees 47 minutes 17 seconds West, 493.54 feet; thence South 00 degrees 01 minutes 04 seconds East, 42.39 feet; thence North 89 degrees 51 minutes 00 seconds West, 303.39 feet; thence South 03 degrees 31 minutes 25 seconds West, 292.35 feet; thence South 89 degrees 47 minutes 37 seconds West on a line 25.00 feet northerly of and parallel with the South line of the Southwest Quarter of the Northwest Quarter of said Section 9, 793.34 feet; thence North 01 degrees 47 minutes 56 seconds West on a line 25.00 feet easterly of and parallel with the West line of the Southwest Quarter of the Northwest Quarter of said Section 9, a distance of 1,298.18 feet to the Point of Beginning.

Said parcel contains 42.28 acres, more or less.

Subject to easements, conditions and restrictions of record.

Including any public right of way adjoining the subject parcel not currently within the corporate limits of any municipality.

Excepting therefrom any part of the subject parcel within the corporate limits of any municipality.

(Above Space for Recorder's Use Only)

**STORMWATER DRAINAGE FACILITIES MAINTENANCE AGREEMENT
WITH THE CITY OF HIGHLAND, ILLINOIS**

WHEREAS, The City of Highland (hereinafter known as "City") has adopted certain ordinances which provide requirements for stormwater drainage and maintenance of those drainage facilities; and

WHEREAS, Section 66-287(b) *Drainage Facility Maintenance Responsibility*, of Chapter 66 of the Highland Municipal Code, requires the following:

One lot development or redevelopment: Maintenance of stormwater drainage facilities located on private property shall be the responsibility of the Owner of that property. Before an appropriate permit for development or redevelopment is obtained from the City of Highland, Illinois the applicant shall execute a Maintenance Agreement with the City of Highland, Illinois, which Agreement shall obligate the Owner (and the Owner's successors, heirs and assigns) to maintain the drainage facilities located on the Owner's property. Such Agreement shall be recorded in the Recorder's Office of Madison County, Illinois. It is the responsibility of the Owner of the property to obtain the Maintenance Agreement from the Department of Public Works.

Subdivision Development: Prior to approval of any final subdivision plat by the City of Highland, the Owner/Developer of any land intended for subdivision shall enter into a Maintenance Agreement with the City of Highland. Said Agreement will obligate the Owner/Developer of the intended subdivision to maintain all the water drainage and water detention facilities located within the boundaries of the development. Further, said Agreement will be binding upon the successors, heirs and assigns of the Developer (so as to create joint and several liability on all future property owners in the Development) for maintenance of the drainage facilities located within the boundaries of the development. Such Maintenance Agreement shall be recorded in the Recorder's Office of Madison County, Illinois. It is the responsibility of the Owner/Developer of the property to obtain the Maintenance Agreement from the Department of Public Works.

The Maintenance Agreement shall include a schedule for regular maintenance of each aspect of the Development's stormwater drainage facility system and shall provide to the City of Highland a perpetual easement for access above and across the property for the purpose of inspection of the drainage facility system. The Owner(s), his/her/its successors, heirs, assigns, or the subsequent owners of property within the subdivision shall notify the City of Highland, Director of Public Works, in writing no less than forty-eight (48) hours prior to any maintenance operations, excluding routine grass mowing. The Maintenance Agreement shall also stipulate that if the appropriate personnel of the City of Highland, Illinois notify the Owner(s), his/her/its successors, heirs, assigns, or the subsequent owners of property within the subdivision in writing of maintenance problems requiring correction, the Owner(s), his/her/its successors, heirs, assigns, or the subsequent owners of property within the subdivision shall begin such corrections within forty-eight (48) hours and shall not extend beyond seven (7) calendar days of such notification. If the corrections are not made within this time period the City of Highland may have the necessary work completed and assess the cost to the Owner(s), his/her/its successors, heirs, assigns, or the subsequent owners of property within the subdivision.

NOW THEREFORE, for and in consideration of approval of site development and/or subdivision plats, and the issuance of site development and/or building permits by the City and other good and valuable consideration, the receipt of which is hereby acknowledged, the undersigned agrees and covenants, on behalf of the undersigned and its heirs, successors and assigns, as follows:

1. Highland Community Unit School District #5 (hereinafter known as the "Owner(s)") hereby certifies and warrants that said Owner(s) hold sole and exclusive fee simple title to the following described real estate ("Property") located within or one and one-half miles of the corporate limits of the City.

SEE EXHIBIT A ATTACHED HERETO FOR LEGAL DESCRIPTION

Permanent Parcel No.: 01-1-24-09-00-000-008

2. The Owner(s), his/her/its successors, heirs, and assigns, and all future owners of the property or individual lots therein hereby accept the responsibility to maintain the stormwater drainage system on the Property in satisfactory working condition and in compliance with the applicable federal, state and local laws and the ordinances of the City of Highland. Owner(s) and any subsequent owner(s) shall permit and hereby grant the perpetual right of access over the Property to the authorized representatives of the City to enter onto the Property for the purpose of inspecting the stormwater drainage system for compliance with federal, state and local laws and the ordinances of the City of Highland and for performing maintenance on the stormwater drainage system as provided herein.

3. The obligations created by this Agreement shall be joint and several on the successors, heirs, and assigns of the Owner(s) and all future owners of property within the above-described subdivision.

4. Owner(s) and any subsequent owner(s) shall provide periodic maintenance as is necessary to keep the system in proper working condition, including but not limited to:

- a. Mow topsides and inside of any basin or drainage-way to maintain grass height at or below six (6) inches.
- b. Trim and maintain other drainage systems and landscaping features located on the Property as needed.
- c. Remove trash, tree limbs and debris from the stormwater drainage system, including any basin; inspect and clear water release structures and pipes.
- d. Remove any silt build-up in the stormwater drainage system at least annually.
- e. Repair erosion or scouring on the Property with protective surfacing such as fabric or rip-rap as is required.
- f. Reseed bare areas on the Property annually.

5. The City of Highland, by and through its authorized representatives, will perform periodic inspections of the drainage system to ensure compliance with applicable federal, state and local laws and the City's ordinances. If the Director of Public Works of the City notifies the current owner(s) in writing of maintenance problems with the drainage system which require correction in order to comply with the applicable federal, state and local laws or the City's ordinances, the owner(s) shall make such corrections within thirty (30) calendar days of such notification. If corrections are not made within thirty (30) days of notification, the City may, but is not required to, enter onto the Property and have the necessary work completed and assess any costs incurred to the then current Owner(s).

In emergency situations the City may enter onto the Property, without notice to the Owner(s), and take such actions and do such work as may be necessary to ensure proper operation of the drainage system. The Owner(s) agrees to reimburse the City for any costs incurred in conducting such work.

6. Any costs incurred by the City pursuant to the terms hereof shall be liens upon the Property pursuant to the terms of 65 ILCS 5/11-20-7, 5/11-20-13 or any other applicable provision of the Illinois Compiled Statutes, as amended, other state laws and the City's ordinances and may be enforced pursuant to the terms of said statutes.

7. The Owner(s) shall record this agreement at the Office of the Madison County Recorder of Deeds and the original shall be returned to the City. The recorded agreement shall

serve as notice to Owner(s) and any subsequent property owners of the maintenance responsibilities for the above-listed property.

Dated this 26 day of August, 2022.

Owner(s)

Brian Arteberry

Brian Arteberry, Chief School Business Official
Highland Community Unit School District #5
400 Broadway
Highland, IL 62249

STATE OF ILLINOIS)
) SS
COUNTY OF MADISON)

I, a Notary Public, in and for said County and State aforesaid, DO HEREBY CERTIFY, that Brian Arteberry, personally known to me to be the same person whose name is/are subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he/she/they signed, sealed and delivered the said instrument of writing as his/her/their free and voluntary act for the uses and purposes therein set forth.

Given under my hand and Notarial Seal this 26 day of August, 2022



Alyssa Duffin
Notary Public

This document prepared by
City of Highland
City Attorney and
Public Works Department
1115 Broadway
Highland, IL 62249

Record and return document to:
City of Highland
City Clerk's Office
P. O. Box 218
1115 Broadway
Highland, IL. 62249

RESOLUTION NO. _____

**A RESOLUTION MAKING SEPARATE STATEMENT OF FINDINGS OF FACT
IN CONNECTION WITH ORDINANCE GRANTING SPECIAL USE PERMIT FOR A
PUBLIC SCHOOL WITHIN THE R-1-C ZONING DISTRICT**

WHEREAS, the City of Highland, Madison County, Illinois (hereinafter “City”), is a non-home rule municipality duly established, existing and operating in accordance with the provisions of the Illinois Municipal Code (Section 5/1-1-1 *et seq.* of Chapter 65 of the Illinois Compiled Statutes); and

WHEREAS, Section 90-81 of the *Code of Ordinances, City of Highland*, provides that the City Council “may grant a special use permit by ordinance,” but requires that “In a separate statement accompanying any such ordinance, the Council shall state findings of fact, and indicate reasons for approving . . . the request for a special use permit;” and

WHEREAS, in accord with the *Code of Ordinances, City of Highland*, Highland Community Unit School District #5 (“Highland School”), is requesting a Special Use Permit for a public school, specifically PIN# 01-1-24-09-00-000-008; and

WHEREAS, a copy of the Petition for a Special Use Permit is attached as **Exhibit A** and incorporated by reference as though fully set forth herein; and

WHEREAS, a copy of the Combined Planning and Zoning Board (“CPZB”) Staff Report is attached hereto as **Exhibit B** and incorporated by reference as though fully set forth herein; and

WHEREAS, **Exhibit A** and **Exhibit B** were all considered as part of the Petition for a Special Use Permit by CPZB; and

WHEREAS, CPZB recommended approval of this special use pursuant to **Exhibit A** and **Exhibit B**. *See* CPZB Determination of Special Use Permit attached hereto as **Exhibit C**.

NOW, THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF HIGHLAND:

Section 1. The City Council makes the following findings of fact concerning the *procedures* followed to present the Petition for a Special Use Permit (**Exhibit A, B**) for approval:

(a) The Administrator to whom the Petition for a Special Use Permit was submitted referred the matter to the CPZB.

(b) The CPZB met in regular session on October 5, 2022 at 7:00 p.m., via properly noticed public meeting, and in accordance with Open Meeting Act requirements, to consider and act upon the Petition for a Special Use Permit.

(c) Public notice of the hearing to be held at the CPZB meeting was published pursuant to Illinois state law, and the applicant was notified of the hearing to be held at the meeting by mail, with postage thereon fully prepaid.

(d) At the hearing, the CPZB took and heard evidence and the CPZB prepared and submitted its advisory report to the City Council recommending approval of the Petition for a Special Use Permit.

(e) The City Council finds the steps recited above, in compliance with the *Code of Ordinances, City of Highland*, to be facts, and further finds and determines that the matters and proceedings to date are in accordance with the *Code of Ordinances, City of Highland*.

Section 2. The City Council makes the following findings of fact concerning the *merits* of the Petition for a Special Use Permit (**Exhibit A, B and C**):

- (a) The proposed Special Use will adequately protect the public health, safety, welfare and the physical environment of the surrounding area and the City of Highland.
- (b) The proposed Special Use is consistent with the City of Highland's Comprehensive Plan.
- (c) The proposed Special Use would not have an adverse effect on public utilities or traffic circulation on nearby streets.
- (d) There are no facilities near the proposed Special Use that require the need for special protection.
- (e) The location – where the Special Use will be made pursuant to the Special Use Permit – is zoned “R-1-C”
- (f) The granting of this Special Use Permit would be in the best interest of the City of Highland, and, so, the Special Use Permit should be granted by ordinance.

Section 3. This resolution shall constitute the separate statement of findings of fact, supporting the granting of the Special Use Permit, required by Section 90-81 of the *Code of*

Ordinances, City of Highland, and shall be permanently attached to the ordinance adopted granting the Special Use Permit.

Section 4. This Resolution shall be known as Resolution No. _____ and shall be effective upon its passage and approval in accordance with law.

Passed by the City Council of the City of Highland, Illinois, and deposited and filed in the Office of the City Clerk, on the ____ day of _____, 2022, the vote being taken by ayes and noes, and entered upon the legislative records, as follows:

AYES:

NOES:

APPROVED:

Kevin B. Hemann
Mayor
City of Highland
Madison County, Illinois

ATTEST:

Barbara Bellm
City Clerk
City of Highland
Madison County, Illinois

EXHIBIT "A"
Special Use Permit Application

Return Form To:

Administrative Official
City of Highland
2610 Plaza Drive
Highland, IL 62249
(618) 654-9891
(618) 654-1901 (fax)

For Office Use Only

Date Submitted: _____
Filing Fee: _____
Date Paid: _____
Date Advertised: _____
Date Notices Sent: _____
Public Hearing Date: _____
Zoning File #: _____

APPLICANT INFORMATION:

Applicant: Highland Community Unit School District #5 Phone: 618-654-2106
Address: 400 Broadway, Highland, IL Zip: 62249
Email Address: barteberry@highlandcusd5.org
Owner: SAME Phone: _____
Address: _____ Zip: _____
Email Address: _____

PROPERTY INFORMATION:

Street Address of Parcel ID of Property: Part of PIN# 01-1-24-09-00-000-008
Property is Located In (Legal Description): attached

Present Zoning Classification: Mad. Co. Agricultural (R-1-C upon annexation) Acreage: 42.28

Present Use of Property: vacant land

Proposed Land Use: public school

Description of proposed use and reasons for seeking a special use permit:
Highland Community School District #5 Public School; SUP for public school required in R-1-C district

SURROUNDING LAND USE AND ZONING:

	<u>Land Use</u>	<u>Zoning</u>
North	<u>First Baptist Church; VFW</u>	<u>R-1-C; Madison County Agricultural</u>
South	<u>vacant land</u>	<u>Madison County Agricultural</u>
East	<u>vacant land</u>	<u>Madison County Agricultural</u>
West	<u>single-family residences</u>	<u>R-1-C</u>

Should this special use be valid only for a specific time period? Yes _____ No X

If Yes, what length of time? N/A

<i>Does the proposed Special Use Permit meet the following standards? If not, attach a separate sheet explaining why.</i>	Yes	No
A. Will the proposed design, location and manner of operation of the proposed special use will adequately protect the public health, safety and welfare, and the physical environment;	X	
B. Is the proposed special use consistent with this City's Comprehensive Plan;	X	
C. Will the proposed special use have a minimal negative impact on the value of neighboring property and on this City's overall tax base;	X	
D. Will the proposed special use have a minimal negative impact on public utilities and on traffic circulation on nearby streets; and	X	
E. Will the proposed special use have a minimal impact on the facilities near the proposed special use, such as schools or hospitals require special protection?	X	

THE FOLLOWING ITEMS MUST ACCOMPANY YOUR APPLICATION:

1. One copy of a legal description AND warranty deed of the property. If the applicant is not the property owner, a notarized letter from the property owner granting the applicant permission to apply for the request will be required.
2. A current plat, site plan, survey, or other professional illustration.
3. One copy of a narrative statement describing the impact of the proposed change, including the purpose of the request, the desired land use, any traffic conditions that may result, how the proposed change may affect the character of the surrounding properties, and how the proposed change will benefit the City of Highland.
4. Application fee.
5. Any other information required by planning staff (i.e. landscaping plan, elevation plan, exterior lighting plan, etc).

I HAVE READ AND UNDERSTAND THE ABOVE CITY OF HIGHLAND PETITION TO THE COMBINED PLANNING & ZONING BOARD REQUIREMENTS.

Bria D
Applicant's Signature

8/26/2022
Date

HIGHLAND COMMUNITY UNIT SCHOOL DISTRICT NO. 5

Serving the Communities of Alhambra, Grantfork, Highland, New Douglas, and Pierron

MICHAEL S. SUTTON
SUPERINTENDENT OF SCHOOLS



DEREK A. HACKE
ASSISTANT SUPERINTENDENT - INSTRUCTION
BRIAN L. ARTEBERRY
CHIEF SCHOOL BUSINESS OFFICIAL

August 26, 2022

Honorable Mayor Kevin B. Hemann
City of Highland
2610 Plaza Drive
Highland, IL 62249

Dear Honorable Mayor,

Highland CUSD No. 5 proposes to construct a new Highland Primary School on the approximately 42.28 acres with the property description contained in Exhibit B of this packet. The building will serve students in grades PreK through 2nd grades and house approximately 650 students and 70 staff. Many city services will be utilized during operations of this building including fire, police, ambulance, internet, and utilities. Highland CUSD No. 5 maintains excellent partnerships with the City of Highland in a number of areas and wishes to continue to these partnerships by annexing the full proposed campus into the city limits.

We hope to partner with the City to improve roads and walkways due to increased car and foot traffic extending out to the site. Other options for sites were considered, but a site within the city limits was crucial in maintaining established relationships. The newly constructed campus is expected to provide a beautiful facelift to the area and provides opportunities for the City to address some neighborhood water issues in the future. It is important that families have access to our school in a convenient and safe location, all of which the specified location provides.

In addition to school services, the space should provide another opportunity for the general public to access green space and playgrounds of various types. While it is expected to increase the traffic in this area, the traffic issues that have plagued the Lindenthal campus should be significantly less once the new structure is occupied. We anticipate more than 50% of the traffic will be directed past the current Lindenthal campus and spread out over a larger geographic area. The potential for a Veteran's Parkway expansion makes this site even better from a strategic standpoint. Much of the traffic from north Highland would have easy access to the school via the new route.

I am certain that many more benefits will come from the proposed construction. Please contact me if you wish to discuss any other details in more depth. Thank you for your consideration of our request for annexation.

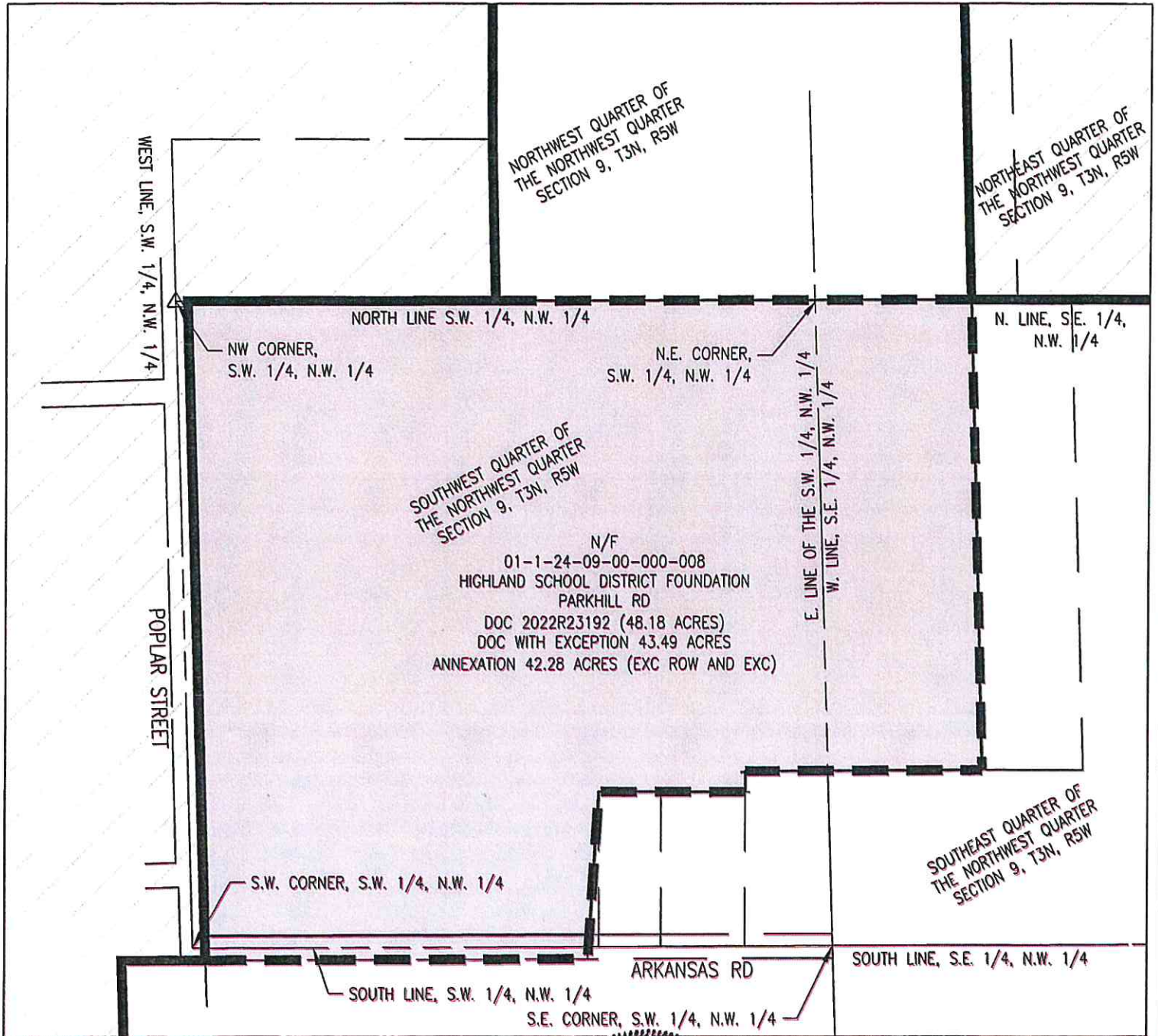
Sincerely,

A handwritten signature in black ink, appearing to read "Michael S. Sutton", is written over a white background.

Michael S. Sutton, Superintendent
Highland CUSD No. 5

EXHIBIT C

PLAT OF ANNEXATION FOR CITY OF HIGHLAND, ILLINOIS



CERTIFICATION

THIS IS TO CERTIFY THAT "THOUVENOT, WADE & MOERCHEN, INC." HAS PREPARED THIS PLAT FOR ANNEXATION TO CITY OF HIGHLAND, COUNTY OF MADISON, STATE OF ILLINOIS.

Joseph W. Moerchen
 JOSEPH W. MOERCHEN
 I.P.L.S. # 3639



SIGN. DATE: 8/26/2022
 EXP. DATE 11-30-2022

LEGEND:

- EXIST. CORP. LIMITS
- PRO. CORP. LIMITS
- AREA TO BE ANNEXED
- EXISTING CITY OF HIGHLAND LIMITS



THOUVENOT, WADE & MOERCHEN, INC.
 SWANSEA OFFICE
 4940 OLD COLLINSVILLE RD, SWANSEA, ILLINOIS 62226
 PHONE (618) 624-4488 FAX (618) 624-6688



SCALE:
 1"=300'



CONSULTING ENGINEERING
GEOSPATIAL SERVICES

THOUVENOT, WADE & MOERCHEN, INC.

CORPORATE OFFICE
4940 OLD COLLINSVILLE ROAD
SWANSEA, IL 62226
618.624.4488
TWM-INC.COM

EXHIBIT B

**Highland School District Foundation
Highland, Madison County, IL
TWM-Proj Number 220839
Part of Parcel No. 01-1-24-09-00-000-008**

RE: Annexation Description

Part of the South half of the Northwest Quarter of Section 9, Township 3 North, Range 5 West of the Third Principal Meridian, County of Madison, State of Illinois, and being more particularly described as follows:

Commencing at the Northwest corner of the Southwest Quarter of the Northwest Quarter of said Section 9; thence North 89 degrees 54 minutes 43 seconds East on the north line of said quarter section, a distance of 25.00 feet to the Point of Beginning and being more particularly described as follows:

Beginning at a found 1/2" iron rod; thence North 89 degrees 54 minutes 43 seconds East on said north Quarter line, a distance of 1,620.08 feet; thence South 01 degrees 43 minutes 09 seconds East, 962.38 feet; thence South 89 degrees 47 minutes 17 seconds West, 493.54 feet; thence South 00 degrees 01 minutes 04 seconds East, 42.39 feet; thence North 89 degrees 51 minutes 00 seconds West, 303.39 feet; thence South 03 degrees 31 minutes 25 seconds West, 292.35 feet; thence South 89 degrees 47 minutes 37 seconds West on a line 25.00 feet northerly of and parallel with the South line of the Southwest Quarter of the Northwest Quarter of said Section 9, 793.34 feet; thence North 01 degrees 47 minutes 56 seconds West on a line 25.00 feet easterly of and parallel with the West line of the Southwest Quarter of the Northwest Quarter of said Section 9, a distance of 1,298.18 feet to the Point of Beginning.

Said parcel contains 42.28 acres, more or less.

Subject to easements, conditions and restrictions of record.

Including any public right of way adjoining the subject parcel not currently within the corporate limits of any municipality.

Excepting therefrom any part of the subject parcel within the corporate limits of any municipality.



City of Highland Building and Zoning

Meeting Date: October 5, 2022

From: Breann Vazquez, Director of Community Development

Location: Part of Unaddressed PIN# 01-1-24-09-00-000-008

Zoning Request: Special Use Permit

Description: SUP for a public school

Proposal Summary

The applicant and property owner is Highland Community Unit School District #5. The applicant of this case is requesting the following Special Use Permit to comply with Table 3.1 of Section 90-201 of the City of Highland Municipal Code (hereafter known as the “zoning matrix”):

Highland Community Unit School District #5 (400 Broadway), is requesting a Special Use Permit for a public school for approximately 42.28 acres at the intersection of Poplar Street & Arkansas Road, part of PIN# 01-1-24-09-00-000-008, pending annexation.

At the time of annexation, the zoning of the parcel will default to R-1-C. The zoning matrix identifies a public school as a Special Use within the R-1-C district.

Comprehensive Plan Consideration

The subject property is denoted as residential on the Comprehensive Plan’s Future Land Use Map. A public school is an appropriate special use for a residential area.

Surrounding Uses

Direction	Land Use	Zoning
North	First Baptist Church; VFW	R-1-C; Madison County Agricultural
South	Vacant Land	Madison County Agricultural
East	Vacant Land	Madison County Agricultural
West	Single-Family Residences	R-1-C

Standards of Review for Special Use Permits

Below are the six (6) consideration items listed in Section 90-79 of the Zoning Code which the Combined Planning and Zoning Board shall take into account while reviewing a SUP request.

1. Whether the proposed amendment or Special Use is consistent with the City's Comprehensive Plan;



City of Highland Building and Zoning

The proposed use is consistent with the City's Comprehensive Plan.

2. The effect the proposed amendment or Special Use would have on public utilities and on traffic circulation;

The school district is working with the City of Highland on infrastructure design and the school would utilize public utilities. A site plan review will be conducted to ensure that traffic is properly routed.

3. Whether the proposed design, location and manner of operation of the proposed Special Use will adequately protect the public health, safety and welfare, and the physical environment;

The school will protect the public health, safety and welfare, and the physical environment.

4. The effect the proposed Special Use would have on the value of neighboring property and on this City's overall tax base;

The use would not have a negative impact on the value of neighboring property and would allow for improvements within the community's public school system.

5. The effect the proposed Special Use would have on public utilities; and

The use would utilize public utilities.

6. Whether there are any facilities near the proposed Special Use, such as schools or hospitals that require special protection.

There are no facilities nearby that require special protection. If the Special Use Permit is granted, the public school would require special protection and that is being taken into consideration during the design process for the campus.

Staff Discussion

The Special Use Permit is contingent upon annexation of the property into City Limits. A site plan review and any other applicable permits will be required prior to construction. Staff has no concerns and supports approval of the Special Use Permit.



City of Highland
Building and Zoning

Aerial Photograph





City of Highland
Building and Zoning

Exhibit "C"
Determination of Special Use Permit

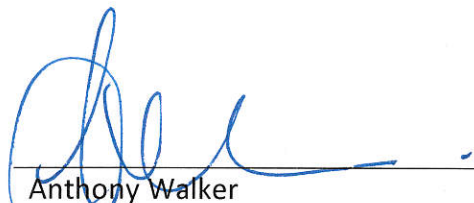
On October 5, 2022, the City of Highland Combined Planning and Zoning Board at its regular meeting approved, **approved with condition(s)**, **denied** a Special Use Permit for the following:

The Highland Community Unit School District #5, with offices located at 400 Broadway in Highland, is requesting a Special Use Permit to allow for a public school to be located on approximately 42.28 acres on the northeast corner of the intersection of Poplar Street & Arkansas Road, part of PIN# 01-1-24-09-00-000-008, pending annexation into the City of Highland.

The City Council will consider the recommendation of the Combined Planning and Zoning Board at the October 17, 2022 meeting of the City Council.

In recommending Appeal (action) of this Special Use Permit, the Combined Planning and Zoning Board considered all standards listed in the zoning regulation and all other conditions listed for that use in other sections of these regulations. In addition, the Combined Planning and Zoning Board found that the proposed use did **did not** provide safeguards to assure its compatibility with the surrounding area.

Conditions (if any): NONE



Anthony Walker
Chairperson of the Combined Planning and Zoning Board

10/5/22

Date

ORDINANCE NO. _____

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO HIGHLAND
COMMUNITY UNIT SCHOOL DISTRICT #5 FOR A PUBLIC SCHOOL AT
PPN # 01-1-24-09-00-000-008**

WHEREAS, the City of Highland, Madison County, Illinois (hereinafter “City”), is a non-home rule municipality duly established, existing and operating in accordance with the provisions of the Illinois Municipal Code (Section 5/1-1-1 *et seq.* of Chapter 65 of the Illinois Compiled Statutes); and

WHEREAS, the City Council has made the findings of fact, and the statement of its reasons for granting the Petition for Special Use Permit in question, in a separate resolution numbered as Resolution No. _____;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HIGHLAND, AS FOLLOWS:

Section 1. Highland Community Unit School District #5 is hereby granted a Special Use Permit for a public school at 01-1-24-09-00-000-008.

Section 2. The Special Use Permit is granted.

Section 3. This Ordinance shall be known as Ordinance No. _____ and shall be in full force and effect upon adoption.

Section 4. This ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as provided by law.

Passed by the City Council of the City of Highland, Illinois, and deposited and filed in the Office of the City Clerk, on the ____ day of _____, 2022, the vote being taken by ayes and noes, and entered upon the legislative records, as follows:

AYES:

NOES:

APPROVED:

Kevin B. Hemann
Mayor
City of Highland
Madison County, Illinois

ATTEST:

Barbara Bellm
City Clerk
City of Highland
Madison County, Illinois

RESOLUTION NO. _____

A RESOLUTION APPROVING LETTER OF UNDERSTANDING WITH ILLINOIS DEPARTMENT OF TRANSPORTATION FOR IMPROVING 6.9 MILES OF US 40

WHEREAS, the City of Highland, Madison County, Illinois (hereinafter “City”), is a non-home rule municipality duly established, existing and operating in accordance with the provisions of the Illinois Municipal Code (Section 5/1-1-1 et seq. of Chapter 65 of the Illinois Compiled Statutes); and

WHEREAS, the Illinois Department of Transportation (“IDOT”) has presented City with a Letter of Understanding (*See Exhibit A*; “IDOT Letter of Understanding”) for improvement of 6.9 miles of US 40 (“Project”); and

WHEREAS, City would have certain duties and responsibilities should City accept and approve the IDOT Letter of Understanding for the Project (*See Exhibit A*); and

WHEREAS, City’s duties and responsibilities under the IDOT Letter of Understanding would include, but not be limited to:

1. City agrees to allow IDOT on City right-of-way;
2. City shall relocate utilities if necessary to complete the Project;
3. City agrees to maintain US 40 / IL 143 not maintained by IDOT;
4. City agrees to maintain City utilities affected by the Project;

(*See Exhibit A*); and

WHEREAS, the Director of Public Works has recommended to the City Council that the IDOT Letter of Understanding be approved (*See Exhibit A*); and

WHEREAS, City Council deems it to be in the best interests of City approve the IDOT Letter of Understanding (*See Exhibit A*); and

WHEREAS, the City Council finds that the City Manager and/or Mayor should be authorized and directed, on behalf of the City of Highland, to execute whatever documents are necessary to approve the IDOT Letter of Understanding (*See Exhibit A*).

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Highland as follows:

Section 1. The foregoing recitals are incorporated herein as findings of the City Council of the City of Highland, Illinois.

Section 2. The IDOT Letter of Understanding is approved (*See Exhibit A*).

Section 3. The City Manager and/or Mayor is authorized and directed, on behalf of the City of Highland, to execute and date whatever documents may be necessary to approve the IDOT Letter of Understanding (*See Exhibit A*).

Section 4. This Resolution shall be known as Resolution No. _____ and shall be effective upon its passage and approval in accordance with law.

Passed by the City Council of the City of Highland, Illinois, and deposited and filed in the Office of the City Clerk, on the ____ day of _____, 2022, the vote being taken by ayes and noes, and entered upon the legislative records, as follows:

AYES:

NOES:

APPROVED:

Kevin B. Hemann
Mayor
City of Highland
Madison County, Illinois

ATTEST:

Barbara Bellm
City Clerk
City of Highland
Madison County, Illinois



Illinois Department of Transportation

Office of Highways Project Implementation / Region 5 / District 8
1102 Eastport Plaza Drive / Collinsville, Illinois 62234-6198

September 27, 2022

LETTER OF UNDERSTANDING

LU-823-006

FAP 793 (US 40/IL 143)

Section (RS-1)RS-5

Madison County

Contract 76M79

Honorable Kevin Hemann

Mayor

City of Highland

1115 Broadway

P.O. Box 218

Highland, IL 62249

Dear Mayor Hemann:

The State of Illinois, acting by and through its Department of Transportation, herein after known as the "STATE", in cooperation with the City of Highland, hereinafter known as the "CITY", in order to facilitate the free flow of traffic and increase the safety to the motoring public, is desirous of improving approximately 6.9 miles of FAP Route 793 (US 40/IL 143) by resurfacing US 40 from 500 feet east of IL 4 to 0.1 miles east of the US 40/IL 143 intersection, providing one through traffic lane in each direction, variable width left-turn and right-turn lanes at Frank Watson Parkway/Hemlock Street, Plaza Drive, and Walnut Steet, and constructing policy ADA accessible crossings at the intersection of US 40/IL 143 and IL 160/Walnut Street in Highland, in keeping with the federally required ADA transition plan.

Work to be performed on this section consists of: sidewalk curb ramps and detectable warnings; removing 2-3/4 inches of hot-mix asphalt surface; placing 1-1/4 inches of binder and 1-1/2 inches of surface course; resurfacing shoulders; pavement marking; replacing guardrail; replacing detector loops; culvert extension; and performing all other work necessary to complete the improvement in accordance with the approved plans and specifications to be known as Section (RS-1)RS-5.

The anticipated letting date for this project is November 18, 2022.

In order to advance this improvement, which is desired and will be of benefit to the residents of the CITY, as well as the traveling public, it is necessary that the CITY and the State agree to the responsibilities of each party. This letter and the acceptance thereof by the CITY shall constitute such agreement. These responsibilities are as follows:

LETTER OF UNDERSTANDING

LU-823-006

City of Highland

September 27, 2022

Page 2

1. The STATE agrees to make the surveys, prepare plans and specifications, receive bids and award the contract, furnish engineering inspection during construction and cause the improvement to be built in accordance with the plans, specifications and contract, and will pay all costs thereof. The estimated cost of the improvement is \$5,400,000.
2. The CITY agrees to allow the STATE, its Representatives and Contractors, to enter upon the CITY right-of-way or easements to perform construction and maintenance without compensation other than the completion of the proposed improvements.
3. The CITY shall exercise its franchise rights to cause private utilities to be relocated, if required, at no expense to the STATE.
4. Upon final field inspection of the improvement and so long as US 40/IL 143 is used as a State highway, the STATE agrees to continue to maintain, or cause to be maintained, the two through traffic lanes lying one on either side of the centerline and the left-turn and right-turn lanes, each lane being 11 feet and variable in width and the curb and gutter or stabilized shoulders and ditches adjacent to those traffic lanes to be maintained by the STATE.
5. Upon final field inspection of the improvement, the CITY agrees to maintain, or cause to be maintained, those portions of US 40/IL 143 not maintained by the STATE, including; sidewalks and ADA curb ramps; crosswalk and stopline markings; Walnut Street and all side road approaches under its jurisdiction, including all left and right turn lanes on said side road approaches, up to the through edge of pavement of US 40/IL 143.
6. Upon final field inspection of the improvement, the CITY agrees to maintain, or cause to be maintained, CITY owned utilities including appurtenances thereto; highway lighting including furnishing the electrical energy therefore.
7. Upon acceptance by the STATE of the traffic signal work included herein, the responsibility for maintenance and energy shall continue to be as outlined in the Master Agreement executed by the STATE and the CITY on September 17, 2021.
8. It is mutually agreed that the covenants contained herein shall become null and void in the event a contract covering construction work contemplated herein is not awarded within three years subsequent to execution of this agreement.

LETTER OF UNDERSTANDING

LU-823-006

City of Highland

September 27, 2022

Page 3

It is mutually agreed that this Letter of Understanding shall be binding upon and inure to the benefit of the parties hereto, their successors and assigns.

The CITY agrees that by signing this Letter of Understanding the CITY is approving that portion of the plans and specifications relative to the CITY's financial and maintenance obligations described herein.

If the conditions contained herein are acceptable to the CITY, it is requested that the Mayor of the City of Highland sign this Letter of Understanding on behalf of the CITY and return one copy to this office along with a letter or Resolution approving the plans.

Sincerely,

A handwritten signature in blue ink that reads "Kirk H Brown" followed by a stylized flourish.

Kirk H. Brown, P.E.
Region five Engineer

Attachments

ACCEPTED BY THE CITY OF HIGHLAND

BY: _____
Kevin Hemann, Mayor

DATE: _____

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	1
		ILLINOIS	CONTRACT NO. 76M79	

PROPOSED HIGHWAY PLANS

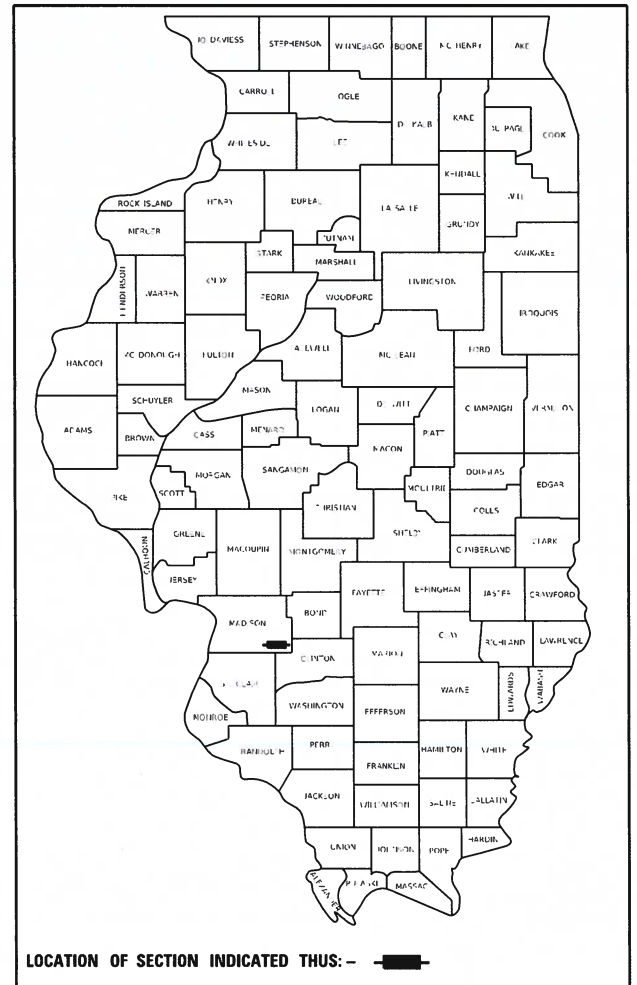
FAP ROUTE 793 (US 40 / IL 143)
SECTION (R-1)RS-5
PROJECT NHPP-8HUL(043)
STANDARD OVERLAY RESURFACING
MADISON COUNTY

C-98-020-20

D-98-006-20

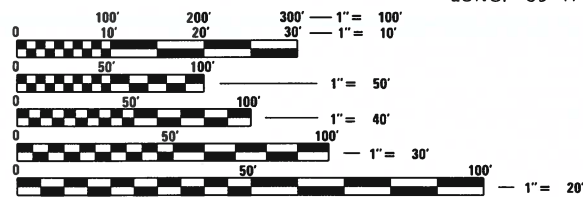
INDEX OF SHEETS

- 1 COVER
- 2 HIGHWAY STANDARDS, TRAFFIC MAP, MIX CHART, GENERAL NOTES & COMMITMENTS
- 3-9 SUMMARY OF QUANTITIES
- 10-11 TYPICAL SECTIONS
- 12-15 SCHEDULES OF QUANTITIES
- 16 LOCATION PLAN
- 17-19 GUARDRAIL PLAN
- 20-28 PAVEMENT MARKING PLAN
- 29-31 SIDEWALK RAMP DETAILS
- 32-33 TRAFFIC SIGNAL PLANS
- 34-38 DETECTOR LOOP REPLACEMENT PLANS
- 39 TRAFFIC CONTROL PLAN - STRUCTURE NO. 060-2514
- 40-42 STRUCTURE PLANS - BOX CULVERT EXTENSION STRUCTURE NO. 060-2514
- 43 GRADING AND EROSION CONTROL PLAN - STRUCTURE NO. 060-2514
- 44 MISCELLANEOUS CONSTRUCTION DETAILS



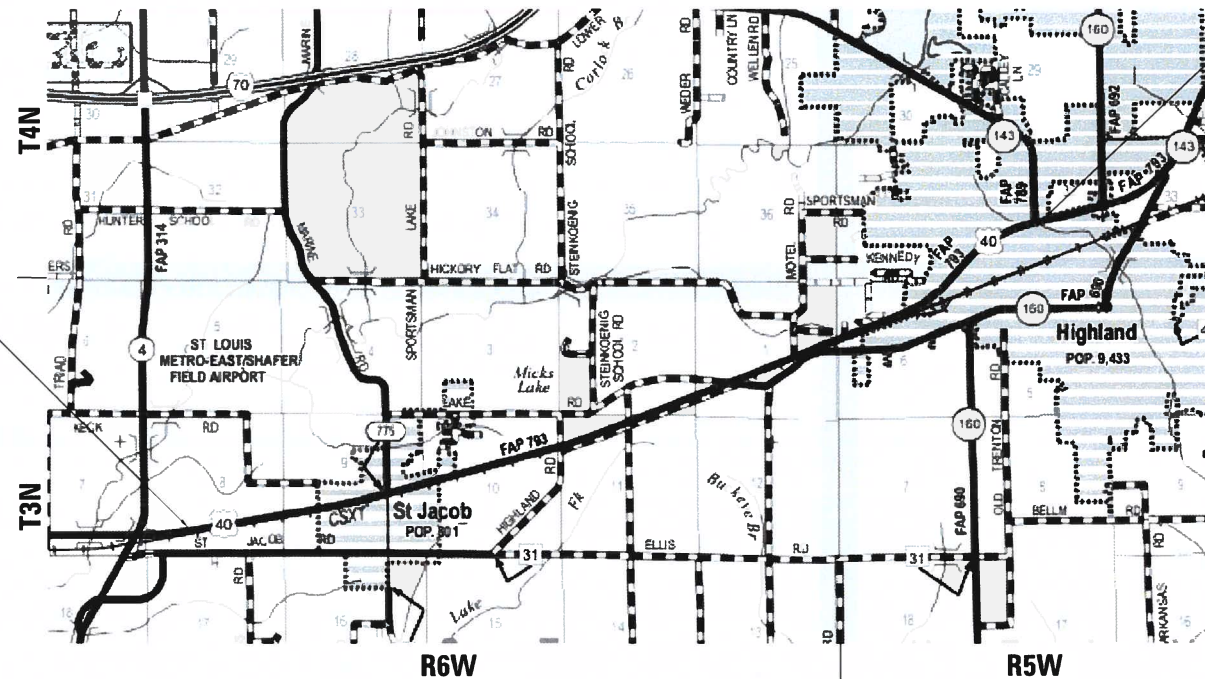
END PROJECT
462 + 98
LAT: 38°44'55.24"N
LONG: 89°40'45.59"W

BEGIN PROJECT
STA 100 + 00
LAT: 38°42'58.28"N
LONG: 89°47'52.66"W



FULL SIZE PLANS HAVE BEEN PREPARED USING STANDARD ENGINEERING SCALES. REDUCED SIZED PLANS WILL NOT CONFORM TO STANDARD SCALES. IN MAKING MEASUREMENTS ON REDUCED PLANS, THE ABOVE SCALES MAY BE USED.

J.U.L.I.E.
JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS
1-800-892-0123
OR 811



LOCATION MAP
NOT TO SCALE

GROSS LENGTH = 36,298 FT. = 6.875 MILE
NET LENGTH = 36,298 FT. = 6.875 MILE

PROJECT ENGINEER: BILLIE OWEN
PROJECT MANAGER: BRANDON HUMPHREYS

CONTRACT NO. 76M79

KENT J. SCHWIERJOHN, P.E.
IL LICENSED PROFESSIONAL ENGINEER NO. 062-066103
LICENSE EXPIRES NOVEMBER 30, 2023

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

SUBMITTED Aug. 26 2022
Kent J. Schwierjohn
REGIONAL ENGINEER

20
ENGINEER OF DESIGN AND ENVIRONMENT

20
DIRECTOR OF HIGHWAYS PROJECT IMPLEMENTATION

HMG ENGINEERS, INC.
9360 HOLY CROSS LANE
BREESE, ILLINOIS 62230
ENGINEERS 888.HMG.ENGR

IL PROF. DESIGN FIRM NO. 184.000899

PRINTED BY THE AUTHORITY
OF THE STATE OF ILLINOIS

HIGHWAY STANDARDS

000001-08	STANDARD SYMBOLS, ABBREVIATIONS AND PATTERNS
001001-02	AREAS OF REINFORCEMENT BARS
001006	DECIMAL OF AN INCH AND OF A FOOT
424001-11	PERPENDICULAR CURB RAMPS FOR SIDEWALKS
424031-02	MEDIAN PEDESTRIAN CROSSINGS
442101-09	CLASS B PATCHES
606001-08	CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER
606301-04	PC CONCRETE ISLANDS AND MEDIANS
630001-12	STEEL PLATE BEAM GUARDRAIL
630101-10	STRONG POST GUARDRAIL ATTACHED TO CULVERT
630106-02	LONG-SPAN GUARDRAIL OVER CULVERT
630301-09	SHOULDER WIDENING FOR TYPE 1 (SPECIAL) GUARDRAIL TERMINALS
642006-01	SHOULDER RUMBLE STRIPS, 8 IN.
701001-02	OFF-ROAD OPERATIONS, 2L, 2W, MORE THAN 15' (4.5 M) AWAY
701006-05	OFF-ROAD OPERATIONS, 2L, 2W, 15' (4.5 M) TO 24" (600 MM) FROM PAVEMENT EDGE
701011-04	OFF-ROAD MOVING OPERATIONS, 2L, 2W, DAY ONLY
701201-05	LANE CLOSURE, 2L, 2W, DAY ONLY, FOR SPEEDS ≥ 45 MPH
701301-04	LANE CLOSURE, 2L, 2W, SHORT TIME OPERATIONS
701306-04	LANE CLOSURE, 2L, 2W, SLOW MOVING OPERATIONS DAY ONLY, FOR SPEEDS ≥ 45 MPH
701311-03	LANE CLOSURE, 2L, 2W, MOVING OPERATIONS - DAY ONLY
701336-07	LANE CLOSURE, 2L, 2W, WORK AREAS IN SERIES, FOR SPEEDS ≥ 45 MPH
701501-06	URBAN LANE CLOSURE, 2L, 2W, UNDIVIDED
701701-10	URBAN LANE CLOSURE, MULTILANE INTERSECTION
701801-06	SIDEWALK, CORNER OR CROSSWALK CLOSURE
701901-08	TRAFFIC CONTROL DEVICES
704001-08	TEMPORARY CONCRETE BARRIER
725001-01	OBJECT AND TERMINAL MARKERS
780001-05	TYPICAL PAVEMENT MARKINGS
781001-04	TYPICAL APPLICATIONS RAISED REFLECTIVE PAVEMENT MARKERS
782001-01	CURB REFLECTORS
782006-01	GUARDRAIL AND BARRIER WALL REFLECTOR MOUNTING DETAILS
838001-01	BREAKAWAY DEVICES
873001-02	TRAFFIC SIGNAL GROUNDING & BONDING
878001-11	CONCRETE FOUNDATION DETAILS
880006-01	TRAFFIC SIGNAL MOUNTING DETAILS
886001-01	DETECTOR LOOP INSTALLATIONS
886006-01	TYPICAL LAYOUT FOR DETECTION LOOPS

MIX CHART

MIXTURE USE	SURFACE	BINDER	POLY SURFACE	SHOULDER (LOWER)	SHOULDER (SURFACE)
AC/PG	PG 64-22	PG 64-22	SBS PG 76-22	PG 64-22	PG 64-22
DESIGN AIR VOIDS	4.0% @ Ndes=70	4.0% @ Ndes=70	4.0% @ Ndes=70	4.0% @ Ndes=30	4.0% @ Ndes=30
MIX COMPOSITION (GRADATION)	IL 9.5	IL 9.5 FG	IL 9.5	IL 19.0L	IL 9.5L
FRICITION AGG	MIXTURE "D"	MIXTURE "C"	MIXTURE "D"	QC/QA	QC/QA
QUALITY MGMT PROGRAM	QCP	QCP	QC/QA	QC/QA	QC/QA
MatTranDev Required?	YES	YES	NO	NO	NO

MIXTURE USE	TURN LANES < 500 FEET		
	SURFACE	BINDER	POLY SURFACE
AC/PG	PG 64-22	PG 64-22	SBS PG 76-22
DESIGN AIR VOIDS	4.0% @ Ndes=70	4.0% @ Ndes=70	4.0% @ Ndes=70
MIX COMPOSITION (GRADATION)	IL 9.5	IL 19.0	IL 9.5
FRICITION AGG	MIXTURE "D"	MIXTURE "B"	MIXTURE "D"
QUALITY MGMT PROGRAM	QC/QA	QC/QA	QC/QA
MatTranDev Required?	NO	NO	NO

ANY QCP PAY ITEM THAT HAS A QUANTITY OF 1600 TONS OR LESS WILL HAVE TWO SUBLOTS EACH OF WHICH WILL BE HALF OF PLAN QUANTITY OR HALF OF THE ADJUSTED QUANTITY BY THE RESIDENT ENGINEER/TECHNICIAN.

COMMITMENTS

NONE

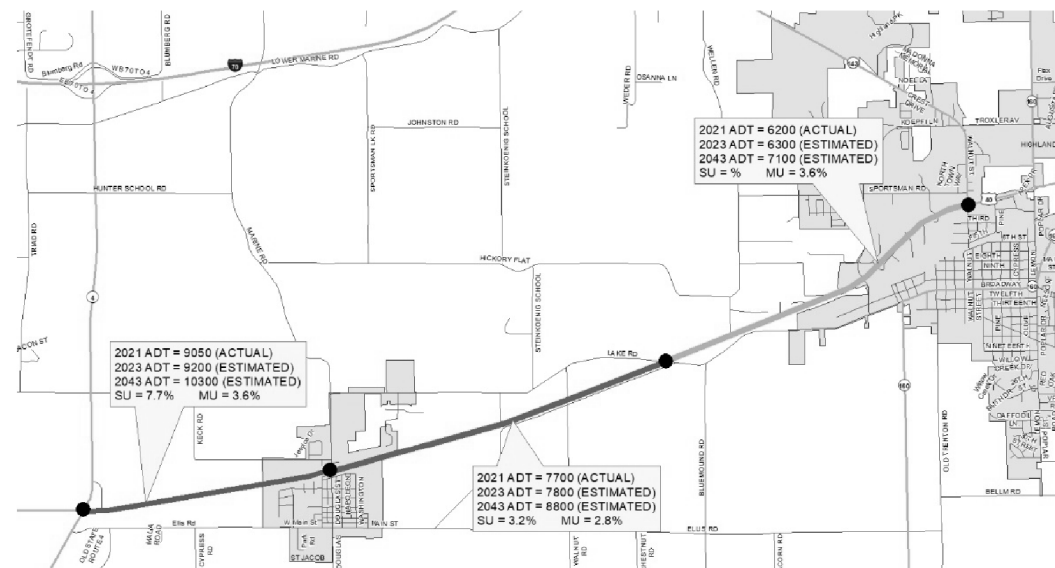
GENERAL NOTES

- UTILITIES KNOWN TO HAVE FACILITIES WITHIN THE PROJECT AREA:

AMEREN ILLINOIS AT&T ILLINOIS BLUEBIRD NETWORK CHARTER COMMUNICATIONS, INC. CLEARWAVE COMMUNICATIONS DEPARTMENT OF CENTRAL MANAGEMENT SERVICES FRONTIER COMMUNICATIONS CITY OF HIGHLAND CITY OF HIGHLAND CITY OF HIGHLAND HOME TELEPHONE COMPANY SOUTHWESTERN ELECTRIC COOPERATIVE, INC. VILLAGE OF ST. JACOB TRI-TOWNSHIP WATER DISTRICT ZAYO GROUP LLC	ELECTRIC COMMUNICATIONS COMMUNICATIONS CABLE TV COMMUNICATIONS COMMUNICATIONS COMMUNICATIONS WATER AND SANITARY SEWER ELECTRIC COMMUNICATIONS COMMUNICATIONS ELECTRIC WATER AND SANITARY SEWER WATER COMMUNICATIONS
--	---
- THE PROPOSED PAVEMENT MARKING SHALL MATCH THE LOCATIONS OF THE EXISTING PAVEMENT MARKING, AS DIRECTED BY THE ENGINEER.
- THE RESIDENT ENGINEER SHALL VERIFY THE EXISTENCE OF HIGHWAY LIGHTING AND/OR INTELLIGENT TRANSPORTATION SYSTEMS (I.T.S.) UTILITIES, AND/OR ELECTRICAL CABLES ASSOCIATED WITH TRAFFIC SIGNALS WITHIN THE PROJECT LIMITS. IF HIGHWAY LIGHTING AND/OR I.T.S. EXISTS WITHIN THE PROJECT LIMITS, AND IF THESE ITEMS REQUIRE RELOCATING, THE CONTRACTOR SHALL DO SO ACCORDING TO SECTION 803 OF THE STANDARD SPECIFICATIONS.
- THE DEPARTMENT STRONGLY ENCOURAGES THE PRIME CONTRACTOR AND THEIR APPROVED SUB-CONTRACTORS TO HIRE MINORITY, WOMEN AND DISADVANTAGED INDIVIDUALS FROM ITS FEDERALLY FUNDED HIGHWAY CONSTRUCTION CAREERS TRAINING PROGRAM (HCCTP) TO HELP MEET WORKFORCE AND TRAINEE GOALS. THIS PROGRAM IS TRAINING MINORITIES, WOMEN AND DISADVANTAGED INDIVIDUALS IN HIGHWAY CONSTRUCTION-RELATED SKILLS, E.G., MATH FOR THE TRADES, JOB READINESS, TECHNICAL SKILLS COURSEWORK (CARPENTRY, CONCRETE FLATWORK, BLUEPRINT READING, SITE PLANS, SITE WORK, TOOLS USE, ETC.) AND OSHA 10 HOUR CERTIFICATION, TO PREPARE THEM FOR A CAREER IN THE HIGHWAY CONSTRUCTION TRADES. GRADUATES ARE WELL-TRAINED AND READY TO BECOME PRODUCTIVE ENTRY-LEVEL CONSTRUCTION WORKERS. CONTACT THE DISTRICT 8 EEO OFFICE AT 618-346-3360 AND/OR THE HCCTP COORDINATOR AT 618-874-6528 TO LEARN MORE ABOUT THE PROGRAM AND FOR ASSISTANCE IN MEETING WORKFORCE AND TRAINEE GOALS.
- 10 CHANGEABLE MESSAGE SIGNS SHALL BE REQUIRED FOR THIS PROJECT. THEY SHALL BE PLACED 2 WEEKS PRIOR TO ANY LANE CLOSURE AND SHALL REMAIN FOR THE DURATION OF THE PROJECT. THE CHANGEABLE MESSAGE SIGNS SHALL BE PLACED ALONG US 40 (2), IL 143 (1), WALNUT ST IN HIGHLAND (1), HEMLOCK ST IN HIGHLAND (1), FRANK WATSON PKWY IN HIGHLAND (1), LAKE RD (1), HIGHLAND RD (1) AND N DOUGLAS ST IN ST. JACOB (2).
- THE CONTRACTOR SHALL PROVIDE POSITIVE AND ADEQUATE DRAINAGE AT ALL TIMES.
- ALL ELEVATIONS REFER TO THE USGS MEAN SEA LEVEL DATUM.
- ONLY SHORT TERM PAVEMENT MARKING REMOVAL FROM THE FINALL SURFACE SHALL BE PAID FOR AS "SHORT TERM PAVEMENT MARKING REMOVAL."
- THE CONTRACTOR SHALL BE AWARE THAT THERE MAY BE MANHOLES & VALVES LOCATED WITHIN THE RESURFACING LIMITS. CARE SHALL BE TAKEN TO IDENTIFY THESE ITEMS DURING MILLING OPERATIONS.
- ALL REMOVED GUARDRAIL COMPONENTS ARE THE PROPERTY OF THE CONTACTOR, AND THE SALVAGE VALUE OF SAID COMPONENTS SHALL BE REFLECTED IN THE CONTRACTOR'S BID.
- FACTORS FOR ESTIMATING PLAN QUANTITIES ARE AS FOLLOWS AND SHALL NOT BE USED FOR THE BASIS OF FINAL QUANTITIES:

HOT-MIX ASPHALT SURFACE COURSE AGGREGATE MATERIALS	112 LBS/SQ YD/IN 2.05 TON/CU YD
---	------------------------------------
- THE USE OF A MATERIAL TRANSFER DEVICE SHALL BE PERMITTED FOR THE PAVING OPERATIONS OF THIS PROJECT. THE MATERIAL TRANSFER DEVICE MAY OPERATE IN AN UNLOADED CONDITION WITH A MAXIMUM GROSS WEIGHT OF 40 TONS ON SN 060-2513 AND SN 060-2514.

TRAFFIC MAP



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STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

HIGHWAY STANDARDS, TRAFFIC MAP, MIX CHART
GENERAL NOTES & COMMITMENTS

SCALE: SHEET 1 OF 1 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	2
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				

CODE NO.	ITEM	UNIT	TOTAL QUANTITY	CONSTRUCTION CODE			
				80% FED ROADWAY	80% FED ROADWAY	80% FED SAFETY	80% FED SAFETY
				20% STATE ROADWAY	20% STATE ROADWAY	20% STATE SAFETY	20% STATE SAFETY
				0005 URBAN	0005 RURAL	0021 URBAN	0021 RURAL
20300100	CHANNEL EXCAVATION	CU YD	28	28			
20400800	FURNISHED EXCAVATION	CU YD	26	26			
28000315	AGGREGATE DITCH CHECKS	TON	10	10			
28100105	STONE RIPRAP, CLASS A3	SQ YD	25			25	
28100109	STONE RIPRAP, CLASS A5	SQ YD	71	71			
28200200	FILTER FABRIC	SQ YD	71	71			
40600290	BITUMINOUS MATERIALS (TACK COAT)	POUND	86333	27139	59194		
40600370	LONGITUDINAL JOINT SEALANT	FOOT	46953	18380	28573		
40600990	TEMPORARY RAMP	SQ YD	1691	1293	398		
40602970	HOT-MIX ASPHALT BINDER COURSE, IL-9.5FG, N70	TON	7183	2345	4838		
40604062	HOT-MIX ASPHALT SURFACE COURSE, IL-9.5, MIX "D", N70	TON	8207	2400	5807		
40604162	POLYMERIZED HOT-MIX ASPHALT SURFACE COURSE, IL-9.5, MIX "D", N70	TON	787	787			
42400100	PORTLAND CEMENT CONCRETE SIDEWALK 4 INCH	SQ FT	419			419	
42400800	DETECTABLE WARNINGS	SQ FT	40			40	

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STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

SUMMARY OF QUANTITIES
 SCALE: SHEET 1 OF 7 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	3
CONTRACT NO. 76M79			ILLINOIS FED. AID PROJECT	

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CODE NO.	ITEM	UNIT	TOTAL QUANTITY	CONSTRUCTION CODE			
				80% FED 20% STATE ROADWAY	80% FED 20% STATE ROADWAY	80% FED 20% STATE SAFETY	80% FED 20% STATE SAFETY
				0005	0005	0021	0021
				URBAN	RURAL	URBAN	RURAL
44000160	HOT-MIX ASPHALT SURFACE REMOVAL, 2 3/4"	SQ YD	127776	40081	87695		
44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	123			123	
44000600	SIDEWALK REMOVAL	SQ FT	325			325	
44003100	MEDIAN REMOVAL	SQ FT	234			234	
44200050	WELDED WIRE REINFORCEMENT	SQ YD	796	66	730		
44201043	CLASS B PATCHES, TYPE II, 16 INCH	SQ YD	640	63	577		
44201047	CLASS B PATCHES, TYPE III, 16 INCH	SQ YD	334	35	299		
44201048	CLASS B PATCHES, TYPE IV, 16 INCH	SQ YD	463		463		
44201299	DOWEL BARS 1 1/2"	EACH	2120	180	1940		
44213200	SAW CUTS	FOOT	4858	338	4520		
44213204	TIE BARS 3/4"	EACH	110		110		
48101200	AGGREGATE SHOULDERS, TYPE B	TON	299			206	93
48102100	AGGREGATE WEDGE SHOULDER, TYPE B	TON	1770	354	1416		
48203100	HOT-MIX ASPHALT SHOULDERS	TON	3858	996	2862		



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**STATE OF ILLINOIS
 DEPARTMENT OF TRANSPORTATION**

SUMMARY OF QUANTITIES

SCALE: SHEET 2 OF 7 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	4
			CONTRACT NO. 76M79	
		ILLINOIS	FED. AID PROJECT	

CODE NO.	ITEM	UNIT	TOTAL QUANTITY	CONSTRUCTION CODE			
				80% FED ROADWAY	80% FED ROADWAY	80% FED SAFETY	80% FED SAFETY
				20% STATE ROADWAY	20% STATE ROADWAY	20% STATE SAFETY	20% STATE SAFETY
				0005 URBAN	0005 RURAL	0021 URBAN	0021 RURAL
50102400	CONCRETE REMOVAL	CU YD	9.2	9.2			
50200100	STRUCTURE EXCAVATION	CU YD	77	77			
50800105	REINFORCEMENT BARS	POUND	5080	5080			
50800205	REINFORCEMENT BARS, EPOXY COATED	POUND	460	460			
54002050	EXPANSION BOLTS 3/4 INCH X 9 INCH	EACH	32	32			
54003000	CONCRETE BOX CULVERTS	CU YD	23.4	23.4			
60604400	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18	FOOT	37			37	
60609800	COMBINATION CONCRETE CURB AND GUTTER, TYPE M-6.18	FOOT	86			86	
60618300	CONCRETE MEDIAN SURFACE, 4 INCH	SQ FT	189			189	
63000003	STEEL PLATE BEAM GUARDRAIL, TYPE A, 9 FOOT POSTS	FOOT	1012.5	775	237.5		
63000030	STRONG POST GUARDRAIL ATTACHED TO CULVERT	FOOT	87.5	87.5			
63000350	LONG-SPAN GUARDRAIL OVER CULVERT, 12 FT 6 IN SPAN	FOOT	37.5		37.5		
63000370	LONG-SPAN GUARDRAIL OVER CULVERT, 25 FT SPAN	FOOT	100	100			
63100045	TRAFFIC BARRIER TERMINAL, TYPE 2	EACH	3	3			

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**STATE OF ILLINOIS
 DEPARTMENT OF TRANSPORTATION**

SUMMARY OF QUANTITIES

SCALE: SHEET 3 OF 7 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	5
CONTRACT NO. 76M79			ILLINOIS FED. AID PROJECT	

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CODE NO.	ITEM	UNIT	TOTAL QUANTITY	CONSTRUCTION CODE			
				80% FED ROADWAY	80% FED ROADWAY	80% FED SAFETY	80% FED SAFETY
				20% STATE	20% STATE	20% STATE	20% STATE
				0005	0005	0021	0021
				URBAN	RURAL	URBAN	RURAL
63100167	TRAFFIC BARRIER TERMINAL, TYPE 1 (SPECIAL) TANGENT	EACH	7	5	2		
63100169	TRAFFIC BARRIER TERMINAL, TYPE 1 (SPECIAL) FLARED	EACH	1	1			
63200310	GUARDRAIL REMOVAL	FOOT	1449	1072	377		
64200108	SHOULDER RUMBLE STRIPS, 8 INCH	FOOT	54488		54488		
64300260	IMPACT ATTENUATORS (FULLY REDIRECTIVE, NARROW), TEST LEVEL 3	EACH	2	2			
67000400	ENGINEER'S FIELD OFFICE, TYPE A	CAL MO	6	1.8	4.2		
67100100	MOBILIZATION	L SUM	1	0.25	0.25	0.25	0.25
70100450	TRAFFIC CONTROL AND PROTECTION, STANDARD 701201	L SUM	1		0.5		0.5
70100460	TRAFFIC CONTROL AND PROTECTION, STANDARD 701306	L SUM	1		0.5		0.5
70100600	TRAFFIC CONTROL AND PROTECTION, STANDARD 701336	L SUM	1		0.5		0.5
70102620	TRAFFIC CONTROL AND PROTECTION, STANDARD 701501	L SUM	1	0.5		0.5	
70102635	TRAFFIC CONTROL AND PROTECTION, STANDARD 701701	L SUM	1	0.5		0.5	
70102640	TRAFFIC CONTROL AND PROTECTION, STANDARD 701801	L SUM	1			1	
70107025	CHANGEABLE MESSAGE SIGN	CAL DA	105	53	52		



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**STATE OF ILLINOIS
 DEPARTMENT OF TRANSPORTATION**

SUMMARY OF QUANTITIES

SCALE: SHEET 4 OF 7 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	6
CONTRACT NO. 76M79			ILLINOIS FED. AID PROJECT	

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CODE NO.	ITEM	UNIT	TOTAL QUANTITY	CONSTRUCTION CODE			
				80% FED ROADWAY	80% FED ROADWAY	80% FED SAFETY	80% FED SAFETY
				20% STATE	20% STATE	20% STATE	20% STATE
				0005	0005	0021	0021
				URBAN	RURAL	URBAN	RURAL
70300100	SHORT TERM PAVEMENT MARKING	FOOT	10899	3224	7675		
70300150	SHORT TERM PAVEMENT MARKING REMOVAL	SQ FT	1199	354	845		
70300211	TEMPORARY PAVEMENT MARKING LETTERS AND SYMBOLS - PAINT	SQ FT	561	468	93		
70300221	TEMPORARY PAVEMENT MARKING - LINE 4"- PAINT	FOOT	104718	40524	64194		
70300241	TEMPORARY PAVEMENT MARKING - LINE 6"- PAINT	FOOT	489	489			
70300251	TEMPORARY PAVEMENT MARKING - LINE 8"- PAINT	FOOT	862	686	176		
70300261	TEMPORARY PAVEMENT MARKING - LINE 12"- PAINT	FOOT	994	910	84		
70300281	TEMPORARY PAVEMENT MARKING - LINE 24"- PAINT	FOOT	411	342	69		
70400100	TEMPORARY CONCRETE BARRIER	FOOT	63	63			
70400125	PINNING TEMPORARY CONCRETE BARRIER	EACH	9	9			
72000100	SIGN PANEL - TYPE 1	SQ FT	1.8			1.8	
72501000	TERMINAL MARKER - DIRECT APPLIED	EACH	11	9	2		
78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	561	468	93		
78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	104718	40524	64194		



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**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

SUMMARY OF QUANTITIES	
SCALE:	SHEET 5 OF 7 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	7
				CONTRACT NO. 76M79
				ILLINOIS FED. AID PROJECT

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CODE NO.	ITEM	UNIT	TOTAL QUANTITY	CONSTRUCTION CODE			
				80% FED ROADWAY	80% FED ROADWAY	80% FED SAFETY	80% FED SAFETY
				20% STATE	20% STATE	20% STATE	20% STATE
				0005 URBAN	0005 RURAL	0021 URBAN	0021 RURAL
78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	489	489			
78000500	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	862	686	176		
78000600	THERMOPLASTIC PAVEMENT MARKING - LINE 12"	FOOT	994	910	84		
78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	411	342	69		
78100100	RAISED REFLECTIVE PAVEMENT MARKER	EACH	729	370	359		
78200005	GUARDRAIL REFLECTORS, TYPE A	EACH	23	18	5		
78200020	CURB REFLECTORS	EACH	14			14	
78300200	RAISED REFLECTIVE PAVEMENT MARKER REMOVAL	EACH	729	370	359		
78300201	PAVEMENT MARKING REMOVAL - GRINDING	SQ FT	37717	15887	21830		
81028370	UNDERGROUND CONDUIT, PVC, 3" DIA.	FOOT	5			5	
87301215	ELECTRIC CABLE IN CONDUIT, SIGNAL NO. 14 2C	FOOT	110			110	
87301225	ELECTRIC CABLE IN CONDUIT, SIGNAL NO. 14 3C	FOOT	117			117	
87301900	ELECTRIC CABLE IN CONDUIT, EQUIPMENT GROUNDING CONDUCTOR, NO. 6 1C	FOOT	15			15	
87800100	CONCRETE FOUNDATION, TYPE A	FOOT	3			3	



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**STATE OF ILLINOIS
 DEPARTMENT OF TRANSPORTATION**

SUMMARY OF QUANTITIES

SCALE: SHEET 6 OF 7 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	8
CONTRACT NO. 76M79			ILLINOIS FED. AID PROJECT	

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CODE NO.	ITEM	UNIT	TOTAL QUANTITY	CONSTRUCTION CODE			
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				0005	0005	0021	0021
				URBAN	RURAL	URBAN	RURAL
88102719	PEDESTRIAN SIGNAL HEAD, LED, 1-FACE, POST MOUNTED WITH COUNTDOWN TIMER	EACH	2			2	
88600600	DETECTOR LOOP REPLACEMENT	FOOT	5289	5289			
89501150	RELOCATE EXISTING TRAFFIC SIGNAL POST	EACH	1			1	
89502200	MODIFY EXISTING CONTROLLER	EACH	1			1	
89502300	REMOVE ELECTRIC CABLE FROM CONDUIT	FOOT	226			226	
89502375	REMOVE EXISTING TRAFFIC SIGNAL EQUIPMENT	EACH	1			1	
89502385	REMOVE EXISTING CONCRETE FOUNDATION	EACH	1			1	
X8140205	MODIFY EXISTING CONCRETE HANDHOLE	EACH	1			1	
X8760200	ACCESSIBLE PEDESTRIAN SIGNALS	EACH	2			2	
Z0013798	CONSTRUCTION LAYOUT	L SUM	1			1	
Z0034105	MATERIAL TRANSFER DEVICE	TON	16101	5532	10569		
Z0036200	PAINT CURB	FOOT	125			125	
Z0048665	RAILROAD PROTECTIVE LIABILITY INSURANCE	L SUM	1	1			



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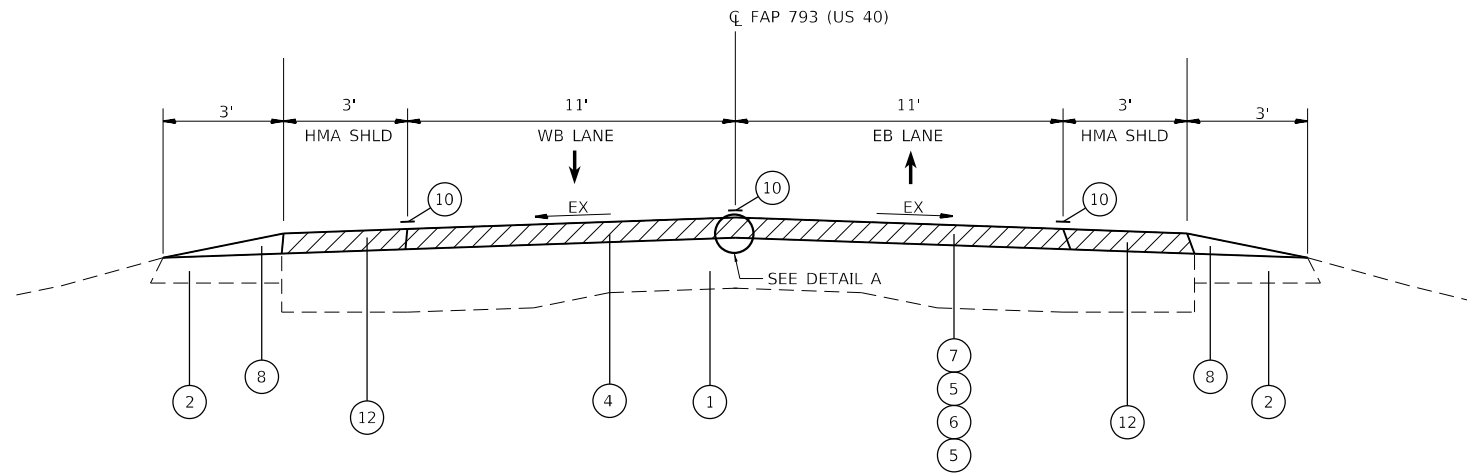
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**STATE OF ILLINOIS
 DEPARTMENT OF TRANSPORTATION**

SUMMARY OF QUANTITIES

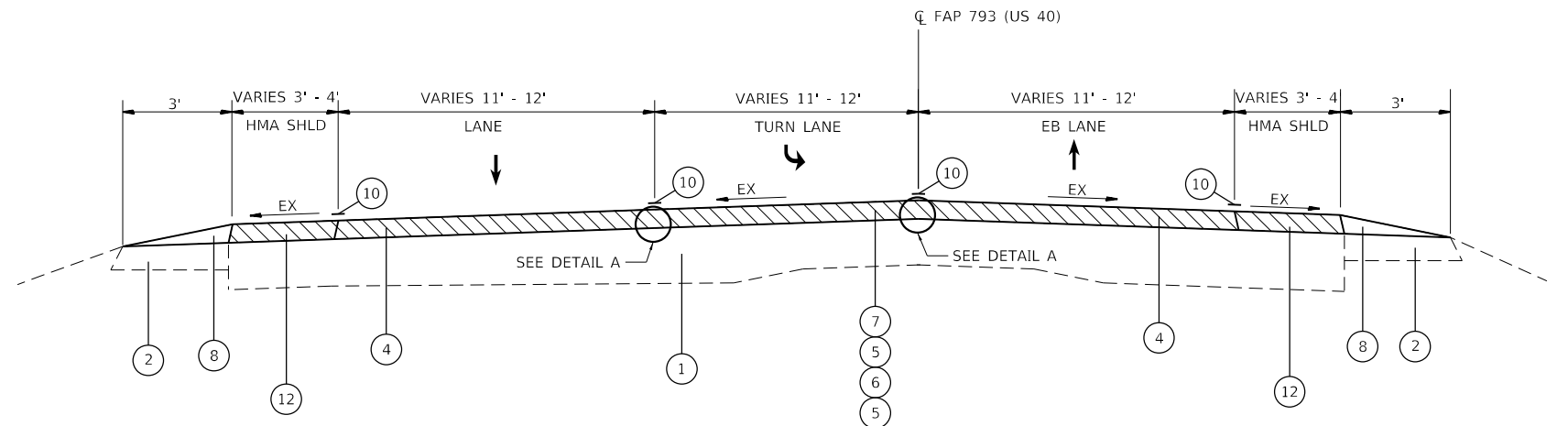
SCALE: SHEET 7 OF 7 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	9
CONTRACT NO. 76M79			ILLINOIS FED. AID PROJECT	



TYPICAL SECTION - US 40 (TWO LANE)

STA. 100+00 TO STA. 176+00
 STA. 196+00 TO STA. 319+00
 STA. 325+51 TO STA. 398+00
 STA. 416+76 TO STA. 441+24



TYPICAL SECTION - US 40 (THREE LANE)

STA. 185+76 TO STA. 196+00 (12' LANES, 4' HMA SHLDS)
 STA. 319+00 TO STA. 325+51 (11' LANES, 3' HMA SHLDS)
 STA. 407+44 TO STA. 416+76 (11' LANES, 3' HMA SHLDS)
 STA. 441+24 TO STA. 448+84 (12' LANES, 4' HMA SHLDS)

LEGEND

- 1 EX PAVEMENT
- 2 EX AGGREGATE SHOULDER
- 3 EX CURB AND GUTTER
- 4 PR HMA SURFACE REMOVAL 2 3/4"
- 5 PR BITUMINOUS MATERIALS (TACK COAT)
- 6 PR HMA BINDER COURSE, IL-9.5FG, N70, 1 1/4"
- 7 PR HMA SURFACE COURSE, IL-9.5, MIX "D", N70, 1 1/2"
- 8 PR AGGREGATE WEDGE SHOULDER, TYPE B
- 9 PR LONGITUDINAL JOINT SEALANT
- 10 PR PAVEMENT MARKING
- 11 PR POLYMERIZED HMA SURFACE COURSE, IL-9.5, MIX "D", N70, 1 1/2"
- 12 PR HMA SHOULDERS

NOTES:

FOR EXACT LANE CONFIGURATIONS, SEE PAVEMENT MARKING DETAILS.

POLYMERIZED HMA SURFACE COURSE SHALL BE USED FROM STA. 455+86 TO STA. 460+77.

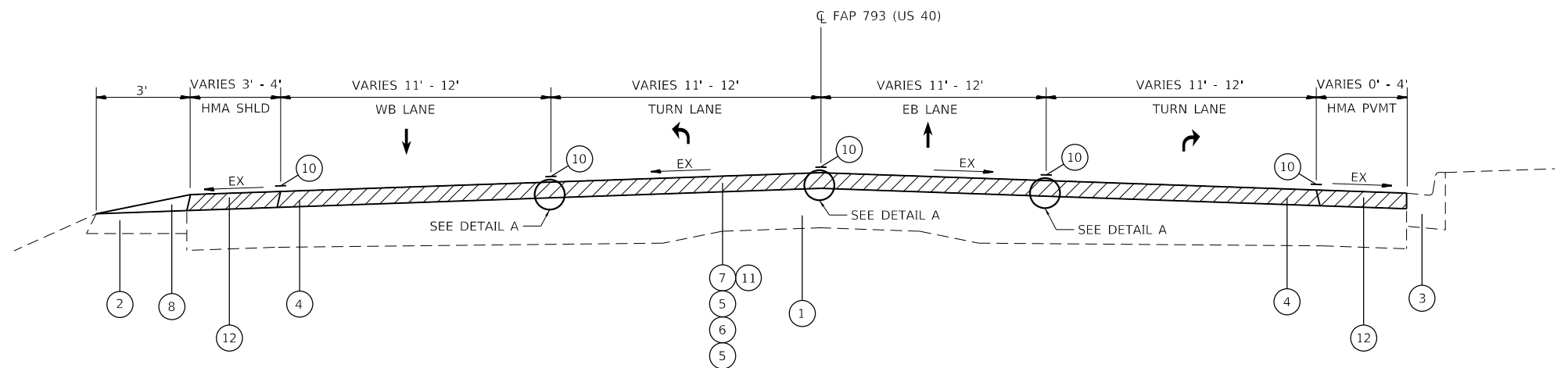
STA. 319+00 TO STA. 325+51, THE CL IS LOCATED BETWEEN THE THRU LANES.

STA. 398+00 TO STA. 407+44, THE CL IS LOCATED BETWEEN THE WB THRU LANE AND THE EB EXCLUSIVE RIGHT TURN LANE.

STA. 407+44 TO STA. 416+76, THE CL IS LOCATED BETWEEN THE WB THRU LANE AND THE WB EXCLUSIVE LEFT TURN LANE.

STA. 441+24 TO STA. 448+84, THE CL SPLITS THE EB EXCLUSIVE LEFT TURN LANE.

STA. 458+25 TO STA. 462+98, THE CL IS LOCATED BETWEEN THE WB THRU LANE AND THE EB EXCLUSIVE LEFT TURN LANE.



TYPICAL SECTION - US 40 (FOUR LANE)

STA. 176+00 TO STA. 185+76 (12' LANES, 4' HMA SHLDS, AGG WEDGE BOTH SIDES)
 STA. 398+00 TO STA. 407+44 (11' LANES, 3' HMA SHLDS, AGG WEDGE BOTH SIDES)
 STA. 448+84 TO STA. 456+96 (12' LANES, 4' HMA SHLDS, AGG WEDGE BOTH SIDES)
 STA. 456+96 TO STA. 459+15 (12' LANES, 4' HMA SHLDS, CURB & GUTTER BOTH SIDES)
 STA. 459+15 TO STA. 462+98 (12' LANES, 4' HMA SHLD, AGG WEDGE BOTH SIDES)

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PLOT DATE =	8/26/2022

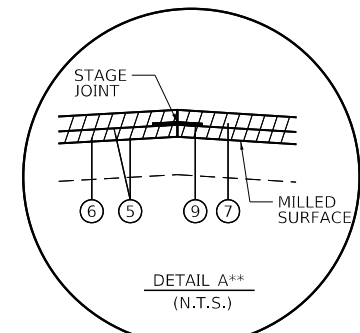
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**STATE OF ILLINOIS
 DEPARTMENT OF TRANSPORTATION**

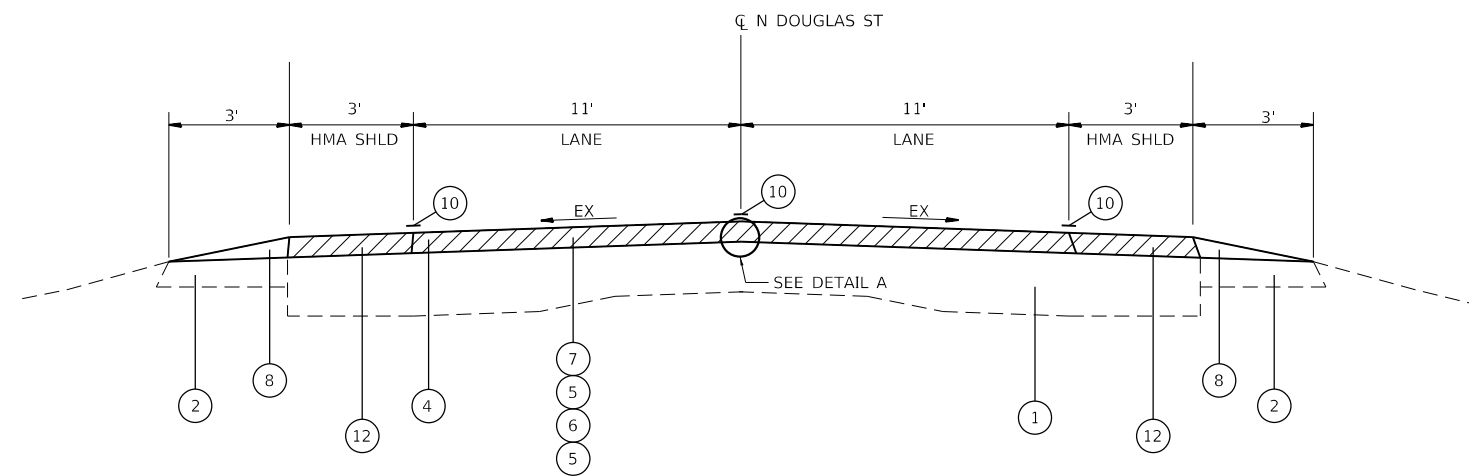
TYPICAL SECTIONS

SCALE: SHEET 1 OF 2 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	10
CONTRACT NO. 76M79			ILLINOIS FED. AID PROJECT	



**DETAIL "A" SHALL NOT BE APPLIED ALONG THE EDGE OF PAVEMENT

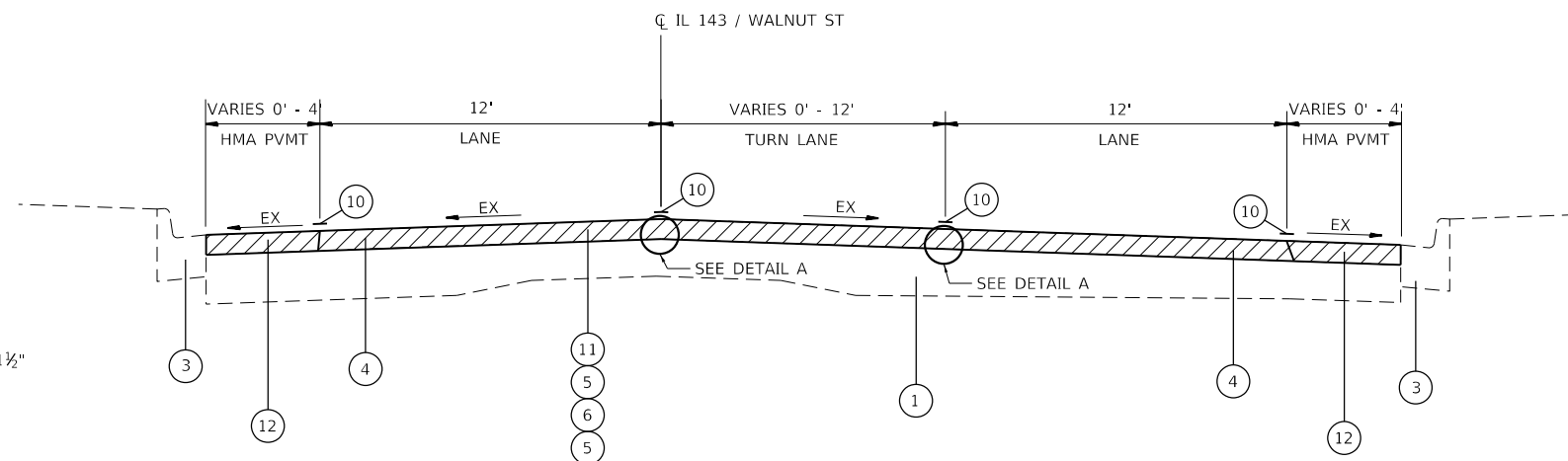


TYPICAL SECTION - N DOUGLAS ST (TWO LANE)

105' SOUTH OF CL FAP 793 (US 40)
151' NORTH OF CL FAP 793 (US 40)

LEGEND

- 1 EX PAVEMENT
- 2 EX AGGREGATE SHOULDER
- 3 EX CURB AND GUTTER
- 4 PR HMA SURFACE REMOVAL 2¾"
- 5 PR BITUMINOUS MATERIALS (TACK COAT)
- 6 PR HMA BINDER COURSE, IL-9.5FG, N70, 1¼"
- 7 PR HMA SURFACE COURSE, IL-9.5, MIX "D", N70, 1½"
- 8 PR AGGREGATE WEDGE SHOULDER, TYPE B
- 9 PR LONGITUDINAL JOINT SEALANT
- 10 PR PAVEMENT MARKING
- 11 PR POLYMERIZED HMA SURFACE COURSE, IL-9.5, MIX "D", N70, 1½"
- 12 PR HMA SHOULDERS



TYPICAL SECTION - IL 143 / WALNUT ST (THREE LANE)

156' SOUTH OF CL FAP 793 (US 40)
273' NORTH OF CL FAP 793 (US 40)

NOTES:
FOR EXACT LANE CONFIGURATIONS, SEE PAVEMENT MARKING DETAILS.

ALONG N DOUGLAS ST SOUTH OF CL FAP 793 (US 40), PAVING SHALL TERMINATE 15' BEFORE THE RAILROAD TRACKS.

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DATE: 8/26/2022

HMG
ENGINEERS
IL PROF DESIGN FIRM 184,000899

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DRAWN	-	REVISIONS	-	REVISED	-
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PLOT DATE	= 8/26/2022	DATE	-	REVISED	-

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

TYPICAL SECTIONS

SCALE: SHEET 2 OF 2 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	11
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				

PAVING SCHEDULE

LOCATION				TEMPORARY RAMP	BITUMINOUS MATERIALS (TACK COAT)	LONGITUDINAL JOINT SEALANT	HOT-MIX ASPHALT BINDER COURSE, IL-9.5FG, N70	HOT-MIX ASPHALT SURFACE COURSE,IL-9.5, MIX "D", N70	POLYMERIZED HOT-MIX ASPHALT SURFACE COURSE,IL-9.5, MIX "D", N70	MATERIAL TRANSFER DEVICE	HOT-MIX ASPHALT SURFACE REMOVAL, 2 3/4"	HOT-MIX ASPHALT SHOULDERS	AGGREGATE WEDGE SHOULDER, TYPE B	SHOULDER RUMBLE STRIPS, 8 INCH
STA	TO	STA	LENGTH	(SQ YD)	(POUND)	(FOOT)	(TON)	(TON)	(TON)	(TON)	(SQ YD)	(TON)	(TON)	(FOOT)
US 40														
100+00	TO	176+00	7600	46.7	15956.7	7600.0	1300.4	1560.5		2860.9	23639.5	780.3	381.9	14199.8
176+00	TO	185+76	976	146.0	3828.7	3006.4	337.3	404.8		742.1	5672.1	131.4	39.1	
185+76	TO	196+00	1024		3621.8	2221.7	308.2	369.8		678.0	5365.7	148.4	54.9	
196+00	TO	319+00	12300	40.5	25833.7	12300.0	2105.1	2526.1		4631.2	38272.2	1262.8	633.4	24600.0
319+00	TO	324+15	515	67.6	1410.9	1030.0	122.3	147.3		269.6	2090.2	52.9	23.7	1030.9
324+15	TO	398+00	7385	243.1	15992.4	7643.4	1310.5	1572.6		2883.1	23692.4	765.6	377.5	14657.0
398+00	TO	407+44	944	166.4	2998.4	1904.5	259.6	311.5		571.1	4442.0	112.0	39.0	
407+44	TO	416+76	932	186.6	2491.5	1785.3	219.8	263.8		483.6	3691.1	84.5	37.5	
416+76	TO	441+24	2448	308.9	5140.8	2448.1	418.9	502.7		921.6	7616.0	251.3	112.7	
441+24	TO	448+84	760	124.4	2196.7	1497.4	184.4	221.2		405.6	3254.3	95.6	33.8	
448+84	TO	457+06	822	97.2	2806.1	2055.4	239.9	234.5	53.3	527.7	4157.2	111.9	19.1	
457+06	TO	459+59	253		2177.0	1977.3	206.8		248.2	455.0	3093.1	6.4		
459+59	TO	462+98	339	79.5	1363.9	1134.5	120.1	91.5	52.6	264.2	2020.6	46.9	13.4	
IL 143														
156' SOUTH		OF US 40 CL	140	83.0	173.9	120.7	17.2		20.6	37.8	257.7			
273' NORTH		OF US 40 CL	240	100.8	340.3	227.9	32.4		412.2	444.6	511.1	7.5	4.0	
SUBTOTAL:				1690.7	86332.8	46952.6	7182.9	8206.3	786.9	16176.1	127775.2	3857.5	1770.0	54487.7
ROUNDED TOTAL:				1691	86333	46953	7183	8207	787	16177	127776	3858	1770	54488

GUARDRAIL SCHEDULE

LOCATION		LENGTH OF NEED			GUARDRAIL REMOVAL	AGGREGATE SHOULDERS, TYPE B	STEEL PLATE BEAM GUARDRAIL, TYPE A, 9 FOOT POSTS	STRONG POST GUARDRAIL ATTACHED TO CULVERT	LONG-SPAN GUARDRAIL OVER CULVERT, 12 FT 6 IN SPAN	LONG-SPAN GUARDRAIL OVER CULVERT, 25 FT SPAN	TRAFFIC BARRIER TERMINAL, TYPE 1 (SPECIAL) TANGENT	TRAFFIC BARRIER TERMINAL, TYPE 1 (SPECIAL) FLARED	TRAFFIC BARRIER TERMINAL, TYPE 2	GUARDRAIL REFLECTORS, TYPE A	TERMINAL MARKER-DIRECT APPLIED
					(FOOT)	(TON)	(FOOT)	(FOOT)	(FOOT)	(FOOT)	(EACH)	(EACH)	(EACH)	(EACH)	(EACH)
US 40/IL 143		STA	TO	STA											
LOCATION #1	RT	171+47.23	TO	174+97.01	376.9	92.2	237.5		37.5		2			5	2
LOCATION #2	LT	452+08.47	TO	453+58.07	172.5	52.8	25.0			50.0	1	1		3	2
LOCATION #3	RT	451+03.97	TO	452+04.39	314.2	76.3	250.0	12.5		50.0	2		2	6	4
LOCATION #4	RT			457+71.41	300.4	21.6	275.0	50.0			1			5	1
LOCATION #5A	RT				53.0										
LOCATION #5B	RT			461+12.65	231.6	55.2	225.0	25.0			1		1	4	2
SUBTOTAL:					1448.6	298.1	1012.5	87.5	37.5	100.0	7	1	3	23	11
ROUNDED TOTAL:					1449.0	299	1012.5	87.5	37.5	100.0	7	1	3	23	11

SIDEWALK SCHEDULE

LOCATION	PC CONC SIDEWALK 4	DETECTABLE WARNINGS	COMB CURB GUTTER REM	SIDEWALK REMOVAL	MEDIAN REMOVAL	COMB CC&G TB6.18	COMB CC&G TM6.18	CONC MEDIAN SURF 4	STONE RIPRAP CL A3	PAINT CURB
STA	(SQ FT)	(SQ FT)	(FOOT)	(SQ FT)	(SQ FT)	(FOOT)	(FOOT)	(SQ FT)	(SQ YD)	(FOOT)
IL ROUTE 143 SE QUAD	157.0	10.0	21.0	125.0		21.0			25.0	
IL ROUTE 143 ISLAND	124.0	20.0	86.0	85.0	234.0		86.0	189.0		125.0
IL ROUTE 143 NE QUAD	138.0	10.0	16.0	115.0		16.0				
SUBTOTAL:										
ROUNDED TOTAL:										
	419.0	40.0	123.0	325.0	234.0	37.0	86.0	189.0	25.0	125.0
	419	40	123	325	234	37	86	189	25	125

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PLOT SCALE = 100,0000 ' / in.	CHECKED -	REVISED -
PLOT DATE = 8/26/2022	DATE -	REVISED -

**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

SCHEDULES OF QUANTITIES

SCALE: SHEET 1 OF 4 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	12
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				

PAVEMENT MARKING SCHEDULE

LOCATION	THERMOPLASTIC PAVEMENT MARKING - LINE 4"				THERMOPLASTIC PAVEMENT MARKING - LINE 6" SOLID WHITE	THERMOPLASTIC PAVEMENT MARKING - LINE 8" SOLID WHITE	THERMOPLASTIC PAVEMENT MARKING - LINE 12"		THERMOPLASTIC PAVEMENT MARKING - LINE 24" SOLID WHITE	THERMOPLASTIC PAVEMENT MARKING - LETTERS & SYMBOLS	RAISED REFLECTIVE PAVEMENT MARKER		
	SOLID WHITE	SOLID YELLOW	30'-10' SKIP-DASH YELLOW	2'-6' SKIP-DASH WHITE			SOLID WHITE	SOLID YELLOW			ONE-WAY CRYSTAL (EACH)	ONE-WAY AMBER (EACH)	TWO-WAY AMBER (EACH)
	(FOOT)	(FOOT)	(FOOT)	(FOOT)			(FOOT)	(FOOT)					
US 40													
100+00.00 TO 176+00.00	15200.0	1208.2	1861.1									95	
176+00.00 TO 185+76.00	2710.9	3392.4		52.2		86.3	28.0	110.9	78.0	93.6	17	30	14
185+76.00 TO 196+00.00	2600.7	3046.3		47.7	488.7	64.9		107.8	46.6	31.2	9	31	8
196+00.00 TO 319+00.00	24509.5	422.0	3075.0										154
319+00.00 TO 324+15.00	1107.2		128.8	69.4						31.2	6		7
324+15.00 TO 398+00.00	14517.5	248.9	1846.2			176.1	84.1		69.2	61.2			97
398+00.00 TO 407+44.00	2456.6	2758.0		82.6				62.8	22.0	93.6	19	26	10
407+44.00 TO 416+76.00	1817.2	2612.2		41.1				66.4	22.0	46.8	10	24	10
416+76.00 TO 441+24.00	4313.6	502.7	549.2										31
441+24.00 TO 448+84.00	1381.2	2550.4		29.7				96.5		31.2	3	29	3
448+84.00 TO 457+06.00	1883.5	3053.0		140.7				154.9		46.8	6	36	4
457+06.00 TO 459+59.00	1050.3	471.4				534.3	247.2		172.8	78.0	13		6
459+59.00 TO 462+98.00	913.1	1086.5		110.8				35.1		31.2	6	11	4
IL 143													
156' SOUTH OF US 40 C	181.7	117.9									2		2
273' NORTH OF US 40 C	342.2	227.5								15.6	3		3
SUBTOTAL:													
	74985.2	21697.4	7460.3	574.2	488.7	861.6	359.3	634.4	410.6	560.4	94	187	448
ROUNDED TOTAL:													
			104718		489	862	994		411	561		729	

NOTES:

IF REQUIRED, TEMPORARY PAVEMENT MARKING SHALL BE EXACTLY THE SAME AS THE PERMANENT PAVEMENT MARKINGS.
SHORT TERM PAVEMENT MARKING QUANTITIES CALCULATED FOR 3 APPLICATIONS.

LOCATION	RAISED REFLECTIVE PAVEMENT MARKER REMOVAL (EACH)	CURB REFLECTORS ONE-WAY CRYSTAL (EACH)	PAVEMENT MARKING REMOVAL-GRINDING (SQ FT)	SHORT TERM PAVEMENT MARKING (FOOT)	SHORT TERM PAVEMENT MARKING REMOVAL (SQ FT)						
						US 40					
						100+00.00 TO 176+00.00	95		6089.8	2072.7	228.0
176+00.00 TO 185+76.00	61		2440.3	480.3	52.8						
185+76.00 TO 196+00.00	48		2394.4	354.6	39.0						
196+00.00 TO 319+00.00	154		9335.5	3354.6	369.0						
319+00.00 TO 324+15.00	13		466.3	199.2	21.9						
324+15.00 TO 398+00.00	97		5938.6	2048.1	225.3						
398+00.00 TO 407+44.00	55		1969.7	442.5	48.6						
407+44.00 TO 416+76.00	44		1677.5	341.4	37.5						
416+76.00 TO 441+24.00	31		1788.5	667.8	73.5						
441+24.00 TO 448+84.00	35		1506.5	222.9	24.5						
448+84.00 TO 457+06.00	46		1986.4	290.1	31.9						
457+06.00 TO 459+59.00	19	14	1083.3	172.5	19.0						
459+59.00 TO 462+98.00	21		734.7	156.6	17.3						
IL 143											
156' SOUTH OF US 40 C	4		115.5	33.0	3.6						
273' NORTH OF US 40 C	6		189.9	62.1	6.8						
SUBTOTAL:											
	729	14	37716.9	10898.4	1198.7						
ROUNDED TOTAL:											
	729	14	37717	10899	1199						

NOTES:

IF REQUIRED, TEMPORARY PAVEMENT MARKING SHALL BE EXACTLY THE SAME AS THE PERMANENT PAVEMENT MARKINGS.
SHORT TERM PAVEMENT MARKING QUANTITIES CALCULATED FOR 3 APPLICATIONS.

CONTINUED

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DRAWN -
PLOT SCALE = 100,0000' / in.
CHECKED -
PLOT DATE = 8/26/2022
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STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

SCHEDULES OF QUANTITIES

SCALE: SHEET 2 OF 4 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	13
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				

76M79 PATCHING SURVEY
US 40 - START 0.02 MILES EAST OF IL 4 TO 0.1 MILES EAST OF IL 143/WALNUT ST. IN HIGHLAND

PATCH	MILE	STATION	LOCATION	LANE	LENGTH	WIDTH	AREA	CLASS B PATCHES, 16 INCH			SAW CUTS	DOWEL BARS 1 1/2"	TIE BARS 3/4"	WELDED WIRE REINFORCEMENT	
								TYPE II	TYPE III	TYPE IV					
1	0.00	100+00.00	EB	DL	20	14	31.1			31.1	74	20		31.1	
2	0.02	101+05.60	EB	DL	8	14	12.4	12.4			38	20			
3	0.14	107+39.20	EB	DL	6	14	9.3				32	20			
4	0.15	107+92.00	EB	DL	8	14	12.4	12.4			38	20			
5	0.18	109+50.40	EB	DL	12	14	18.7		18.7		50	20		18.7	
6	0.20	110+56.00	EB	DL	12	14	18.7		18.7		50	20		18.7	
7	0.22	111+61.60	EB	DL	10	14	15.6		15.6		44	20		15.6	
8	0.27	114+25.60	EB	DL	12	14	18.7		18.7		50	20		18.7	
9	0.30	115+84.00	EB	DL	6	14	9.3	9.3			32	20			
10	0.31	116+36.80	EB	DL	20	14	31.1			31.1	74	20		31.1	
11	0.39	120+59.20	EB	DL	20	14	31.1			31.1	74	20		31.1	
12	0.41	121+64.80	EB	DL	12	14	18.7		18.7		50	20		18.7	
13	0.44	123+23.20	EB	DL	8	14	12.4	12.4			38	20			
14	0.45	123+76.00	EB	DL	4	14	6.2	6.2			26	20			
15	0.53	127+98.40	EB	DL	4	14	6.2	6.2			26	20			
16	0.54	128+51.20	EB	DL	4	14	6.2	6.2			26	20			
17	0.55	129+04.00	EB	DL	8	14	12.4	12.4			38	20			
18	0.60	131+68.00	EB	DL	4	14	6.2	6.2			26	20			
19	0.61	132+20.80	EB	Long EL	80	6	53.3			53.3	252	10	27.0	53.3	
20	0.66	134+84.80	EB	DL	4	14	6.2	6.2			26	20			
21	0.68	135+90.40	EB	DL	6	14	9.3	9.3			32	20			
22	0.70	136+96.00	EB	DL	4	14	6.2	6.2			26	20			
23	0.74	139+07.20	EB	DL	4	14	6.2	6.2			26	20			
24	0.77	140+65.60	EB	DL	6	14	9.3	9.3			32	20			
25	0.97	151+21.60	EB	DL	14	14	21.8		21.8		56	20		21.8	
26	1.13	159+66.40	EB	DL	20	14	31.1			31.1	74	20		31.1	
27	1.62	185+53.60	EB	TL	6	12	8.0	8.0			42	20			
28	1.63	186+06.40	EB	TL	6	12	8.0	8.0			42	20			
29	1.92	201+37.60	EB	DL	4	14	6.2	6.2			26	20			
30	2.20	216+16.00	EB	DL	4	14	6.2	6.2			26	20			
31	2.23	217+74.40	EB	Long EL	40	6	26.7			26.7	132	10	14.0	26.7	
32	2.24	218+27.20	EB	DL	6	14	9.3	9.3			32	20			
33	2.32	222+49.60	EB	DL	8	14	12.4	12.4			38	20			
34	2.34	223+55.20	EB	DL	4	14	6.2	6.2			26	20			
35	2.47	230+41.60	EB	DL	4	14	6.2	6.2			26	20			
36	2.61	237+80.80	EB	DL	4	14	6.2	6.2			26	20			
37	2.61	237+80.80	EB	Long EL	40	6	26.7			26.7	132	10	14.0	26.7	
38	2.63	238+86.40	EB	Long EL	40	6	26.7			26.7	132	10	14.0	26.7	
39	2.65	239+92.00	EB	DL	12	14	18.7		18.7		50	20		18.7	
40	2.80	247+84.00	EB	DL	4	14	6.2	6.2			26	20			
41	2.87	251+53.60	EB	DL	4	14	6.2	6.2			26	20			
42	2.88	252+03.10	EB	DL	6	14	9.3	9.3			32	20			
43	2.96	256+28.80	EB	DL	6	14	9.3	9.3			32	20			
44	3.05	261+04.00	EB	DL	4	14	6.2	6.2			26	20			
45	3.35	276+88.00	EB	DL	6	14	9.3	9.3			32	20			
46	3.92	306+97.60	EB	DL	6	14	9.3	9.3			32	20			
47	4.52	338+65.60	EB	DL	4	14	6.2	6.2			26	20			
48	4.65	345+52.00	EB	DL	4	14	6.2	6.2			26	20			
49	4.67	346+57.60	EB	DL	8	14	12.4	12.4			38	20			
50	4.77	351+85.60	EB	DL	4	14	6.2	6.2			26	20			
51	5.58	394+62.40	EB	DL	8	14	12.4	12.4			38	20			
52	5.68	399+90.40	EB	DL	6	14	9.3	9.3			32	20			
53	5.75	403+60.00	EB	DL	6	14	9.3	9.3			32	20			
54	5.79	405+71.20	EB	DL	6	14	9.3	9.3			32	20			
							TOTALS	714.7	326.0	130.9	257.8	2,496.0	1,040.0	69.0	388.7

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USER NAME = kschieferjohn
PLOT SCALE = 100,0000' / in.
PLOT DATE = 8/26/2022

DESIGNED -
DRAWN -
CHECKED -
DATE -

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REVISED -

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

SCHEDULES OF QUANTITIES

SCALE: SHEET 3 OF 4 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	14
	CONTRACT NO. 76M79			
	ILLINOIS FED. AID PROJECT			

76M79 PATCHING SURVEY

US 40 - START 0.02 MILES EAST OF IL 4 TO 0.1 MILES EAST OF IL 143/WALNUT ST. IN HIGHLAND

PATCH	MILE	STATION	LOCATION	LANE	LENGTH	WIDTH	AREA	CLASS B PATCHES, 16 INCH			SAWCUT	DOWEL BARS 1 1/2"	TIE BARS 3/4"	WELDED WIRE REINFORCEMENT
								TYPE II	TYPE III	TYPE IV				
1	0.00	100+00.00	WB	DL	20	14	31.1			31.1	74	20		31.1
2	0.02	101+05.60	WB	DL	8	14	12.4	12.4			38	20		
3	0.14	107+36.20	WB	DL	6	14	9.3	9.3			32	20		
4	0.15	109+50.40	WB	DL	8	14	12.4	12.4			38	20		
5	0.18	110+56.00	WB	DL	12	14	18.7		18.7		50	20		18.7
6	0.20	111+61.60	WB	DL	12	14	18.7		18.7		50	20		18.7
7	0.22	116+36.80	WB	DL	10	14	15.6		15.6		44	20		15.6
8	0.27	114+25.60	WB	DL	12	14	18.7		18.7		50	20		18.7
9	0.31	116+36.80	WB	DL	20	14	31.1			31.1	74	20		31.1
10	0.33	117+42.40	WB	DL	12	14	18.7		18.7		50	20		18.7
11	0.39	120+59.20	WB	DL	20	14	31.1			31.1	74	20		31.1
12	0.41	121+64.80	WB	DL	12	14	18.7		18.7		50	20		18.7
13	0.44	123+23.20	WB	DL	8	14	12.4	12.4			38	20		
14	0.45	123+76.00	WB	DL	4	14	6.2	6.2			26	20		
15	0.53	127+98.40	WB	DL	4	14	6.2	6.2			26	20		
16	0.54	128+51.20	WB	DL	4	14	6.2	6.2			26	20		
17	0.55	129+04.00	WB	DL	8	14	12.4	12.4			38	20		
18	0.60	131+68.00	WB	DL	4	14	6.2	6.2			26	20		
19	0.66	134+84.80	WB	DL	4	14	6.2	6.2			26	20		
20	0.68	135+90.40	WB	DL	6	14	9.3	9.3			32	20		
21	0.70	136+96.00	WB	DL	4	14	6.2	6.2			26	20		
22	0.74	139+07.20	WB	DL	4	14	6.2	6.2			26	20		
23	0.77	140+65.60	WB	DL	6	14	9.3	9.3			32	20		
24	0.97	151+21.60	WB	DL	14	14	21.8		21.8		56	20		21.8
25	1.13	159+66.40	WB	DL	12	14	18.7		18.7		50	20		18.7
26	1.36	171+80.80	WB	EL (Culvert)	80	6	53.3			53.3	252	10	27.0	53.3
27	1.92	201+37.60	WB	DL	4	14	6.2	6.2			26	20		
28	2.20	216+16.00	WB	DL	4	14	6.2	6.2			26	20		
29	2.24	218+27.20	WB	DL	6	14	9.3	9.3			32	20		
30	2.34	223+55.20	WB	DL	4	14	6.2	6.2			26	20		
31	2.47	230+41.60	WB	DL	4	14	6.2	6.2			26	20		
32	2.53	233+58.40	WB	DL	4	14	6.2	6.2			26	20		
33	2.65	239+92.00	WB	DL	12	14	18.7		18.7		50	20		18.7
34	2.80	247+84.00	WB	DL	4	14	6.2	6.2			26	20		
35	2.87	251+53.60	WB	DL	4	14	6.2	6.2			26	20		
36	2.88	252+06.40	WB	DL	6	14	9.3	9.3			32	20		
37	2.96	256+28.80	WB	DL	6	14	9.3	9.3			32	20		
38	3.05	261+04.00	WB	DL	4	14	6.2	6.2			26	20		
39	3.35	276+88.00	WB	DL	6	14	9.3	9.3			32	20		
40	3.92	306+97.60	WB	DL	6	14	9.3	9.3			32	20		
41	4.07	314+89.60	WB	DL	4	14	6.2	6.2			26	20		
42	4.52	338+65.60	WB	DL	4	14	6.2	6.2			26	20		
43	4.65	345+52.00	WB	DL	4	14	6.2	6.2			26	20		
44	4.67	346+57.60	WB	DL	8	14	12.4	12.4			38	20		
45	4.77	351+85.30	WB	DL	4	14	6.2	6.2			26	20		
46	5.40	385+12.00	WB	DL	6	14	9.3	9.3			32	20		
47	5.48	389+34.40	WB	DL	4	14	6.2	6.2			26	20		
48	5.49	389+87.20	WB	(Long) EL	40	6	26.7			26.7	132	10	14.0	26.7
49	5.58	394+62.40	WB	DL	8	14	12.4	12.4			38	20		
50	5.61	396+20.80	WB	DL	8	14	12.4	12.4			38	20		
51	5.62	396+73.60	WB	DL	20	14	31.1			31.1	74	20		31.1
52	5.66	398+84.80	WB	DL	12	14	18.7		18.7		50	20		18.7
53	5.75	403+60.00	WB	DL	10	14	15.6		15.6		44	20		15.6
54	5.79	405+71.20	WB	DL	6	14	9.3	9.3			32	20		
55	6.17	425+77.60	WB	DL	6	14	9.3	9.3			32	20		
TOTALS							720.1	313.1	202.6	204.4	2,362.0	1,080.0	41.0	407.0

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 CHECKED -
 DATE -

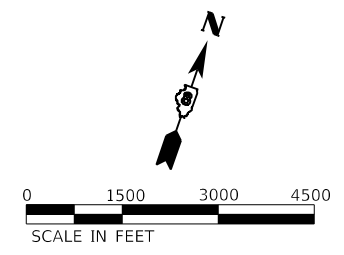
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STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

SCHEDULES OF QUANTITIES

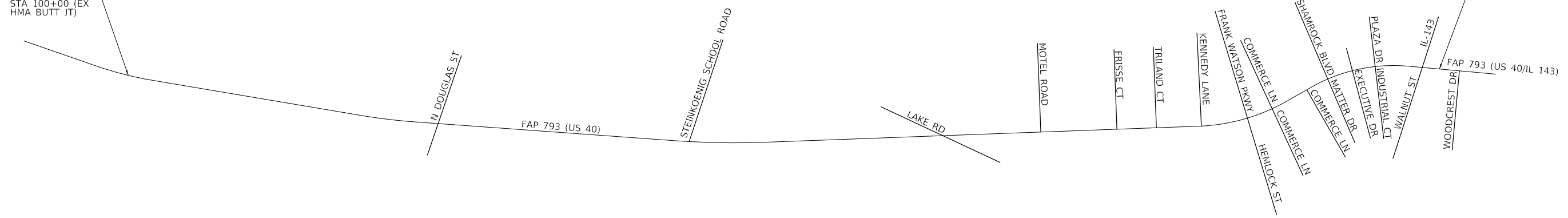
SCALE: SHEET 4 OF 4 SHEETS STA. TO STA.

F.A.P. RTE. 793	SECTION (R-1)RS-5	COUNTY MADISON	TOTAL SHEETS 44	SHEET NO. 15
CONTRACT NO. 76M79				
ILLINOIS			FED. AID PROJECT	



BEGIN PROJECT
STA 100+00 (EX
HMA BUTT JT)

END PROJECT
STA 462+98 (EX
HMA BUTT JT)



LOCATION

STA. 185+77.25	N DOUGLAS STREET
STA. 254+55.93	STEINKOENIG SCHOOL ROAD
STA. 323+95.20	LAKE ROAD
STA. 350+72.69	MOTEL ROAD
STA. 371+54.22	FRISSE COURT
STA. 382+33.90	TRILAND COURT
STA. 394+65.47	KENNEDY LANE
STA. 407+45.54	FRANK WATSON PARKWAY - NORTH
STA. 407+45.54	HEMLOCK STREET - SOUTH
STA. 414+70.44	COMMERCE LANE - NORTH
STA. 414+70.44	COMMERCE LANE - SOUTH
STA. 425+47.10	COMMERCE LANE - SOUTH
STA. 431+91.67	SHAMROCK BLVD
STA. 431+91.67	MATTER DRIVE
STA. 439+06.64	EXECUTIVE DRIVE
STA. 445+36.93	PLAZA DRIVE - NORTH
STA. 445+36.93	INDUSTRIAL COURT - SOUTH
STA. 458+28.40	IL 143 - NORTH
STA. 458+25.40	WALNUT STREET - SOUTH
STA. 468+47.07	WOODCREST DRIVE

URBAN / RURAL LIMITS

US 40:
STA. 100+00 TO STA. 176+00 (RURAL)
STA. 176+00 TO STA. 185+76 (URBAN)
STA. 185+76 TO STA. 196+00 (URBAN)
STA. 196+00 TO STA. 319+00 (RURAL)
STA. 319+00 TO STA. 324+15 (RURAL)
STA. 324+15 TO STA. 398+00 (RURAL)
STA. 398+00 TO STA. 407+44 (URBAN)
STA. 407+44 TO STA. 416+76 (URBAN)
STA. 416+76 TO STA. 441+24 (URBAN)
STA. 441+24 TO STA. 448+84 (URBAN)
STA. 448+84 TO STA. 457+06 (URBAN)
STA. 457+06 TO STA. 459+59 (URBAN)
STA. 459+59 TO STA. 468+98 (URBAN)
IL 143:
156' SOUTH OF US 40 C (URBAN)
273' NORTH OF US 40 C (URBAN)

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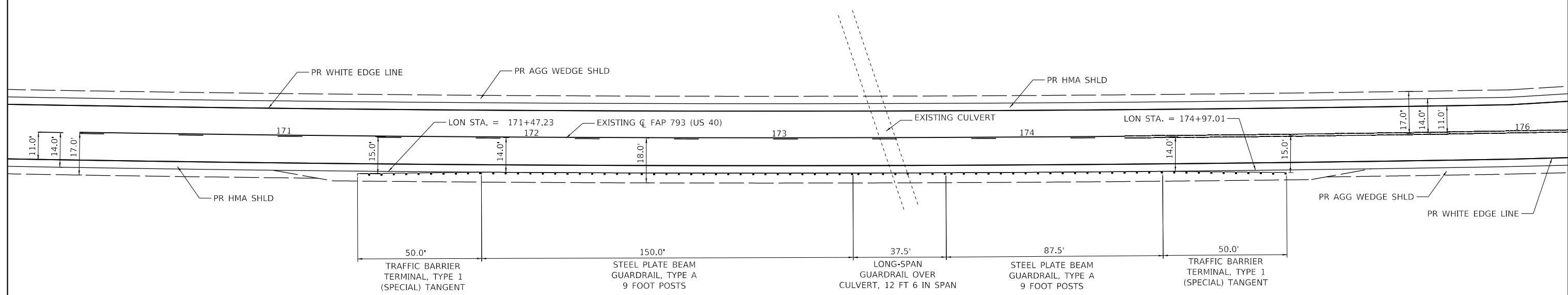
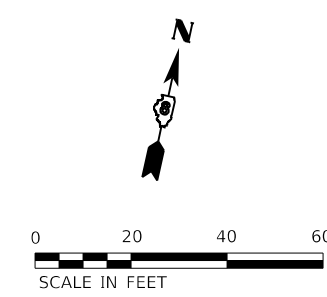
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PLOT DATE = 8/26/2022	CHECKED -	REVISED -
	DATE -	REVISED -

**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

LOCATION PLAN

SCALE: SHEET 1 OF 1 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	16
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				



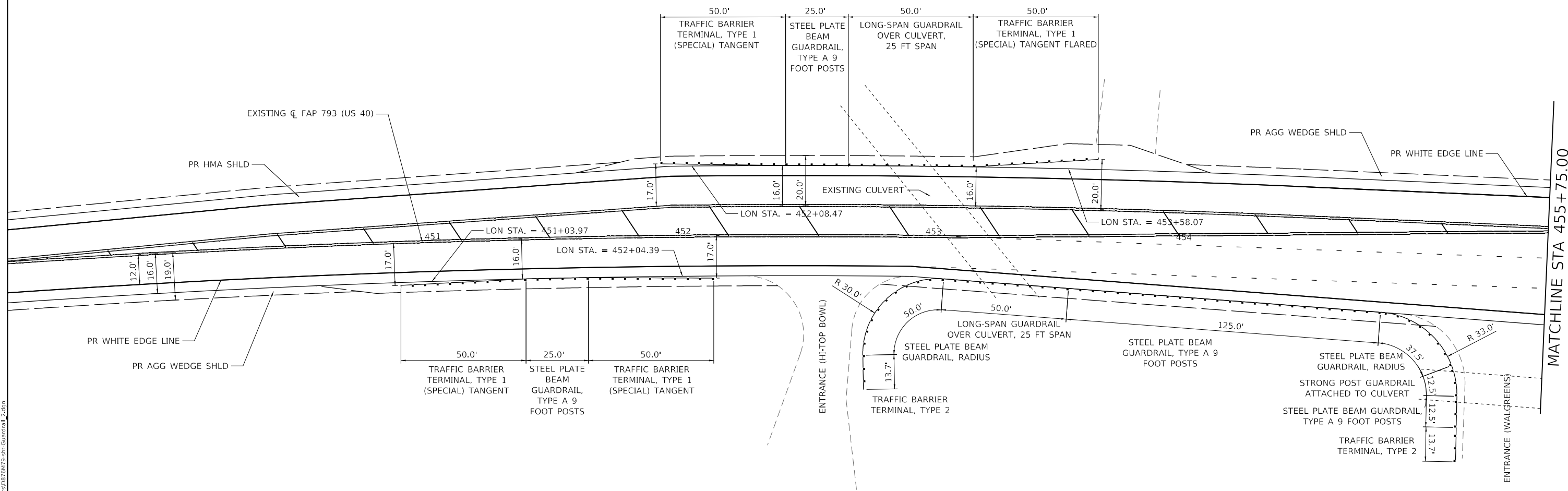
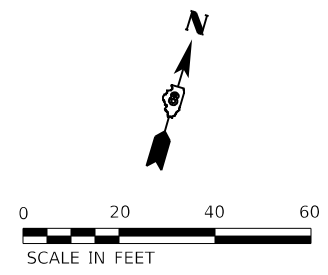
NOTE:
 CONTRACTOR SHALL CENTER LONG-SPAN GUARDRAIL OVER CULVERT, 12 FOOT 6 INCH SPAN OVER EXISTING CULVERT AND THEN CONSTRUCT GUARDRAIL IN BOTH DIRECTIONS FROM THAT POINT.

ALL DIMENSIONS SHOWN AT GUARDRAIL ARE TO THE FACE OF GUARDRAIL.

ALL EXISTING GUARDRAIL SHALL BE REMOVED, HOWEVER ONLY PROPOSED GUARDRAIL IS SHOWN. SEE GUARDRAIL SCHEDULE.

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 IL PROF DESIGN FIRM 184,000899	USER NAME = kschwierjohn	DESIGNED -	REVISED -	STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION	GUARDRAIL PLAN LOCATION #1			F.A.P. RTE. = 793	SECTION = (R-1)RS-5	COUNTY = MADISON	TOTAL SHEETS = 44	SHEET NO. = 17
	PLOT SCALE = 40,0000' / in.	CHECKED -	REVISED -		SCALE:	SHEET 1 OF 3 SHEETS	STA. TO STA.	CONTRACT NO. 76M79				
	PLOT DATE = 8/26/2022	DATE -	REVISED -		ILLINOIS FED. AID PROJECT							



NOTE:

CONTRACTOR SHALL CENTER LONG-SPAN GUARDRAIL OVER CULVERT, 25 FOOT SPAN OVER EXISTING CULVERT AND THEN CONSTRUCT GUARDRAIL IN BOTH DIRECTIONS FROM THAT POINT.

ALL DIMENSIONS SHOWN AT GUARDRAIL ARE TO THE FACE OF GUARDRAIL.

ALL EXISTING GUARDRAIL SHALL BE REMOVED, HOWEVER ONLY PROPOSED GUARDRAIL IS SHOWN. SEE GUARDRAIL SCHEDULE.

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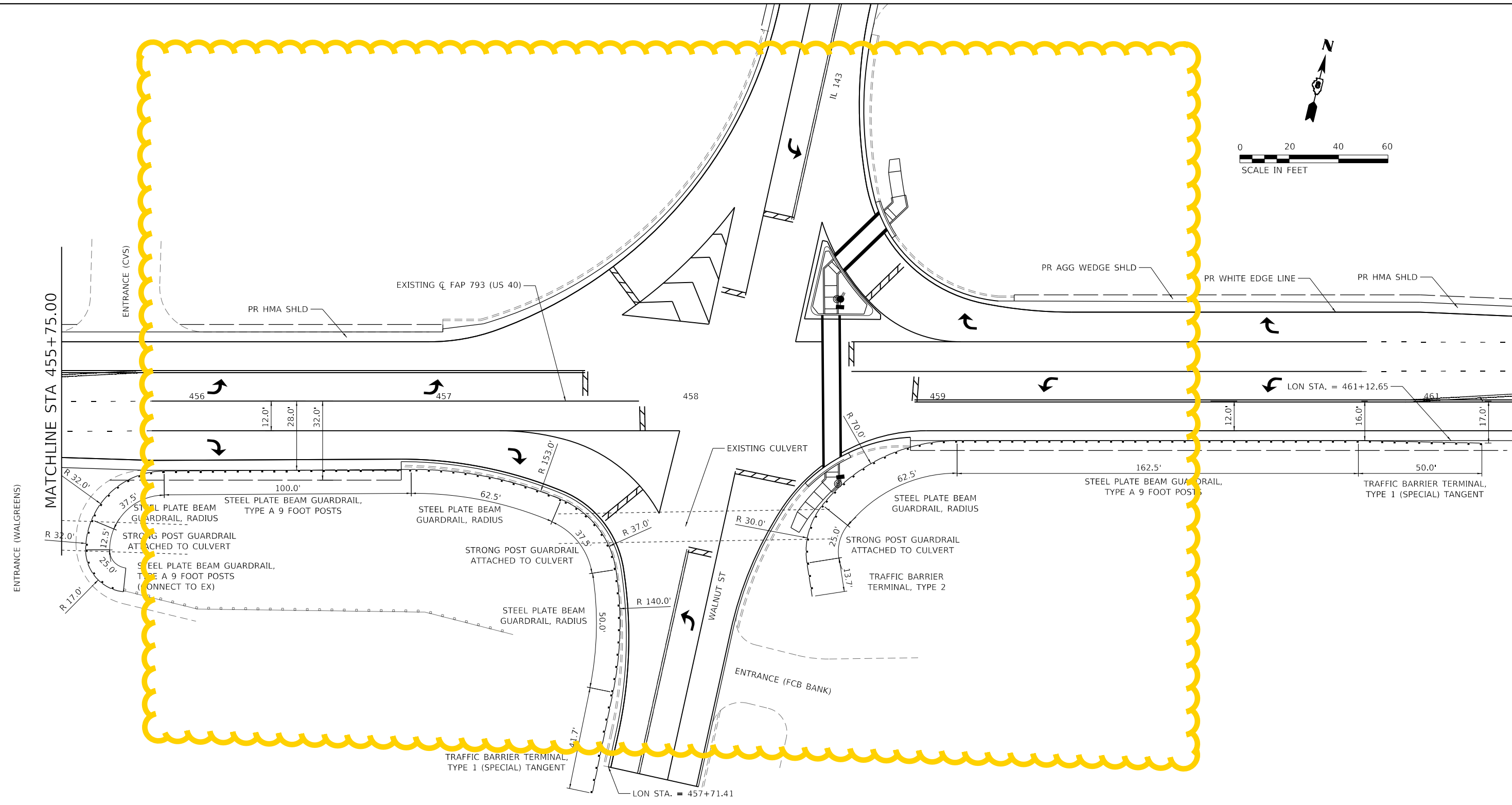
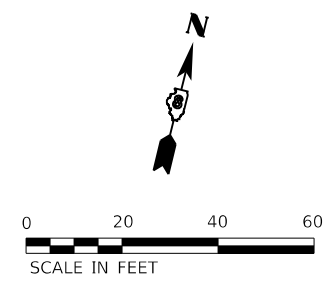


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PLOT DATE = 8/26/2022	CHECKED -	REVISED -
	DATE -	REVISED -

**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

GUARDRAIL PLAN		
LOCATION #2 AND LOCATION #3		
SCALE:	SHEET 2 OF 3 SHEETS	STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	18
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				



NOTE:

CONTRACTOR SHALL CENTER LONG-SPAN GUARDRAIL OVER CULVERT, 12 FOOT 6 INCH SPAN OVER EXISTING CULVERT AND THEN CONSTRUCT GUARDRAIL IN BOTH DIRECTIONS FROM THAT POINT.

ALL DIMENSIONS SHOWN AT GUARDRAIL ARE TO THE FACE OF GUARDRAIL.

ALL EXISTING GUARDRAIL TO BE REMOVED IS NOT SHOWN. PROPOSED GUARDRAIL AND EXISTING GUARDRAIL TO REMAIN ARE SHOWN. SEE GUARDRAIL SCHEDULE.

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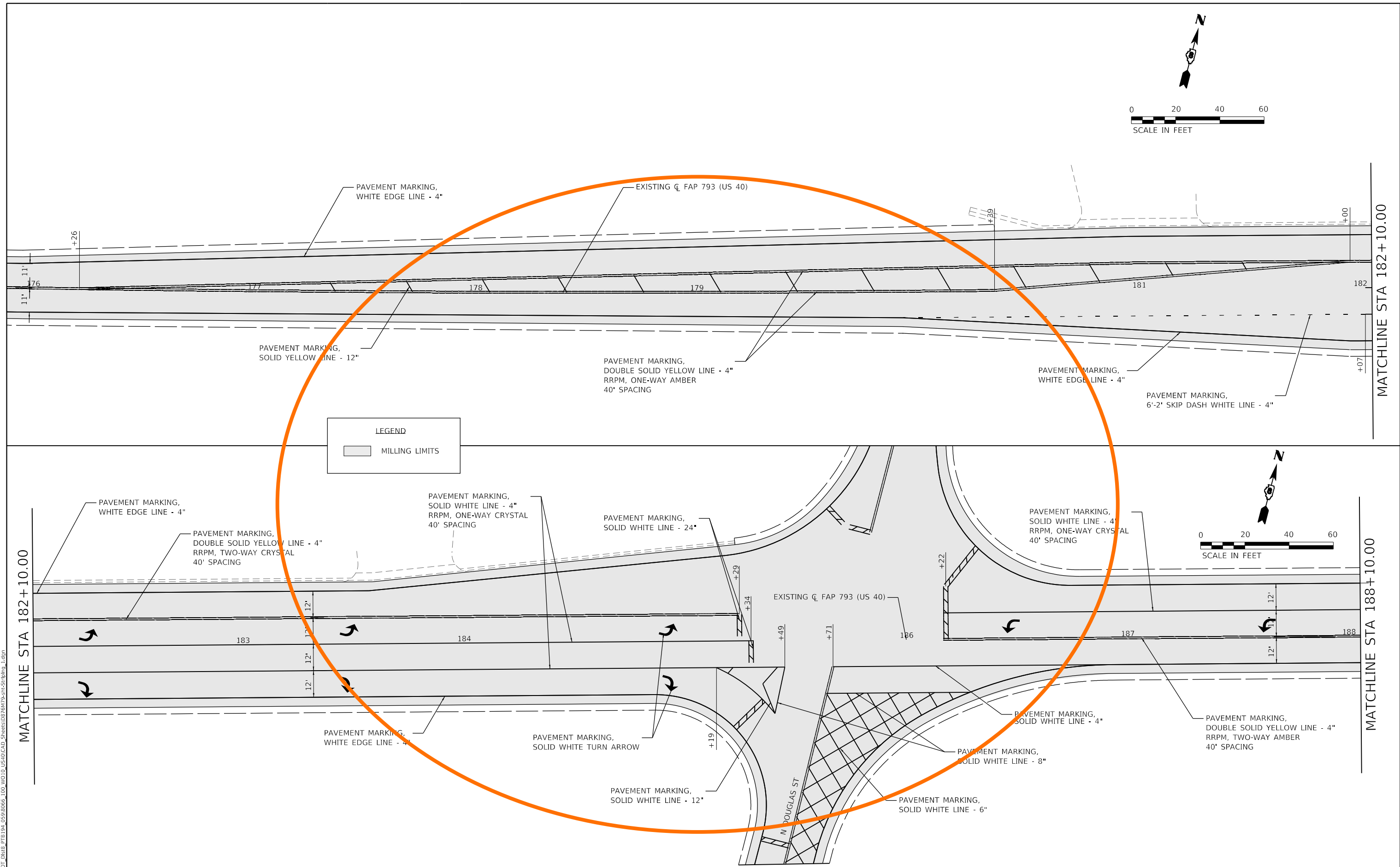
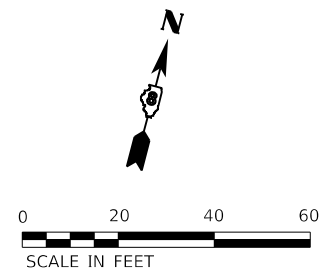
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PLOT DATE = 8/26/2022	CHECKED -	REVISED -
	DATE -	REVISED -

**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

**GUARDRAIL PLAN
LOCATION #4 AND LOCATION #5B**

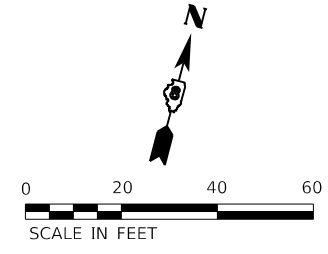
SCALE: SHEET 3 OF 3 SHEETS STA. TO STA.

F.A.P. RTE. 793	SECTION (R-1)RS-5	COUNTY MADISON	TOTAL SHEETS 44	SHEET NO. 19
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				



LEGEND

■ MILLING LIMITS



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HMG
ENGINEERS
IL PROF DESIGN FIRM 184,000899

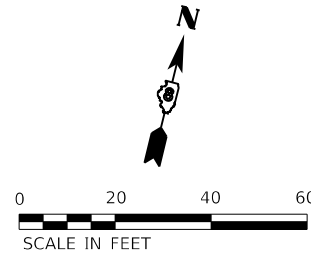
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PLOT DATE = 8/26/2022	CHECKED -	REVISED -
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**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

**PAVEMENT MARKING PLAN
US 40 / N DOUGLAS RD**

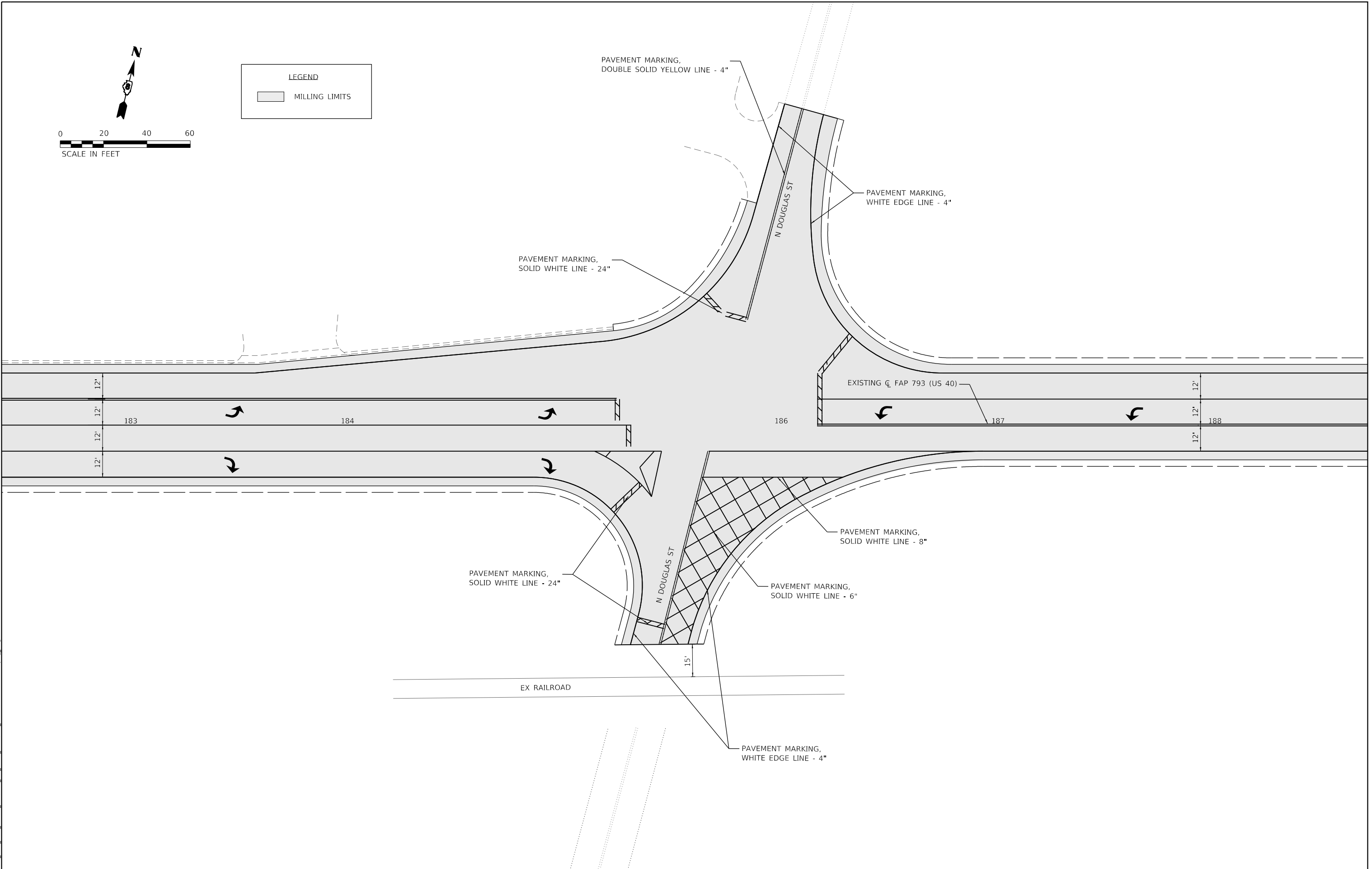
SCALE: SHEET 1 OF 9 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	20
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				



LEGEND

MILLING LIMITS



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PLOT DATE	= 8/26/2022				

**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

**PAVEMENT MARKING PLAN
US 40 / N DOUGLAS RD**

SCALE:	SHEET 2 OF 9 SHEETS	STA.	TO STA.
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F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	21
CONTRACT NO. 76M79				
ILLINOIS			FED. AID PROJECT	

PAVEMENT MARKING,
DOUBLE SOLID YELLOW LINE - 4"
RRPM, TWO-WAY AMBER
40' SPACING

PAVEMENT MARKING,
SOLID WHITE LINE - 4"
RRPM, ONE-WAY CRYSTAL
40' SPACING

PAVEMENT MARKING,
6'-2" SKIP DASH WHITE LINE - 4"

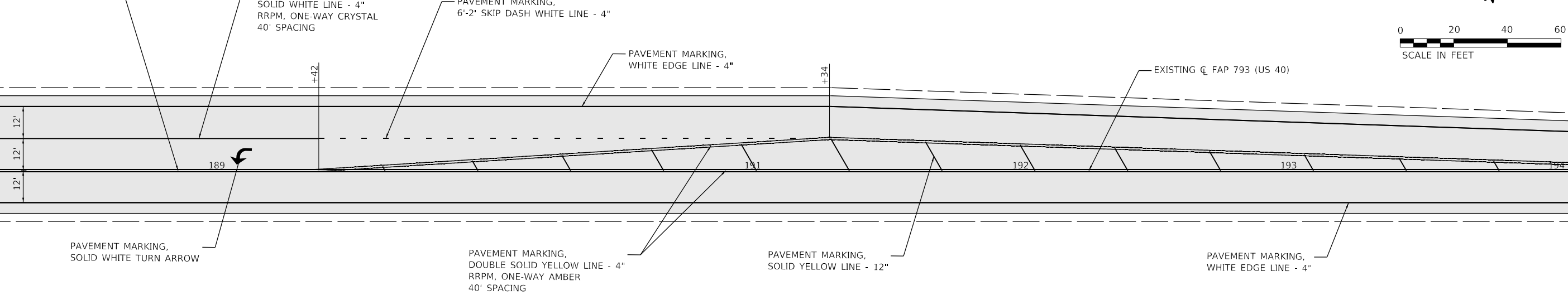
PAVEMENT MARKING,
WHITE EDGE LINE - 4"

EXISTING CL FAP 793 (US 40)



MATCHLINE STA 188+10.00

MATCHLINE STA 194+10.00



PAVEMENT MARKING,
SOLID WHITE TURN ARROW

PAVEMENT MARKING,
DOUBLE SOLID YELLOW LINE - 4"
RRPM, ONE-WAY AMBER
40' SPACING

PAVEMENT MARKING,
SOLID YELLOW LINE - 12"

PAVEMENT MARKING,
WHITE EDGE LINE - 4"

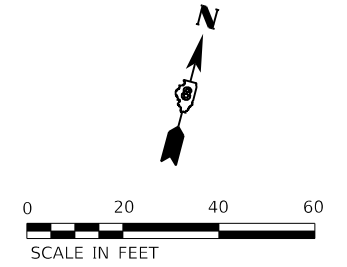


MATCHLINE STA 194+10.00

PAVEMENT MARKING,
DOUBLE SOLID YELLOW LINE - 4"
RRPM, TWO-WAY AMBER
80' SPACING

PAVEMENT MARKING,
WHITE EDGE LINE - 4"

EXISTING CL FAP 793 (US 40)



+79

196

197

198

199

PAVEMENT MARKING,
WHITE EDGE LINE - 4"

PAVEMENT MARKING,
30'-10" SKIP DASH YELLOW LINE - 4"

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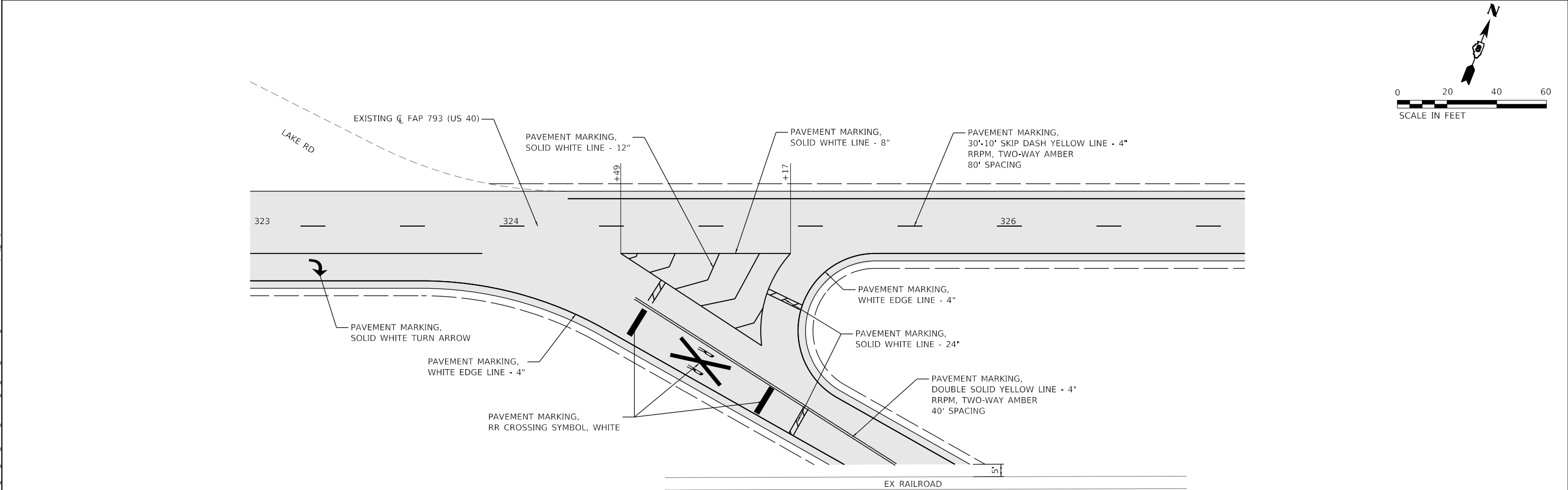
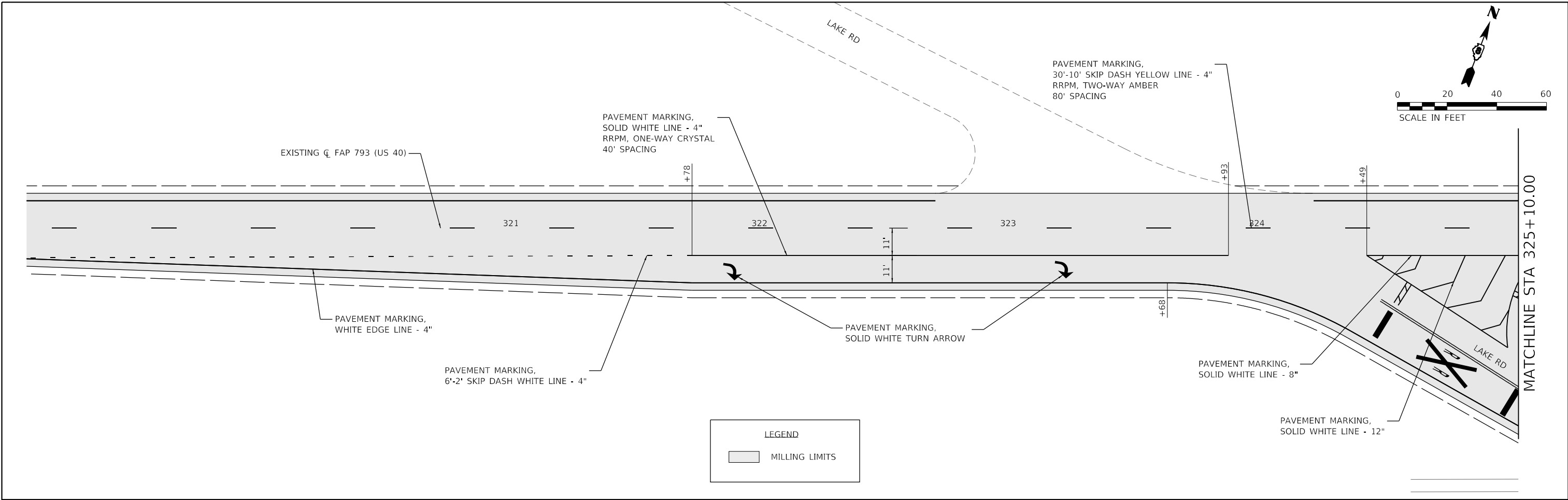
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PLOT DATE = 8/26/2022	CHECKED -	REVISED -
	DATE -	REVISED -

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

PAVEMENT MARKING PLAN
US 40 / N DOUGLAS RD

SCALE: SHEET 3 OF 9 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	22
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				



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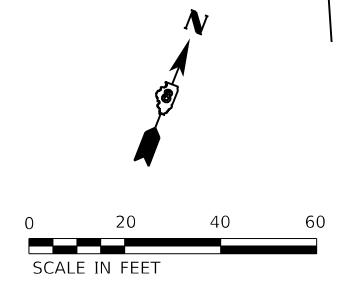
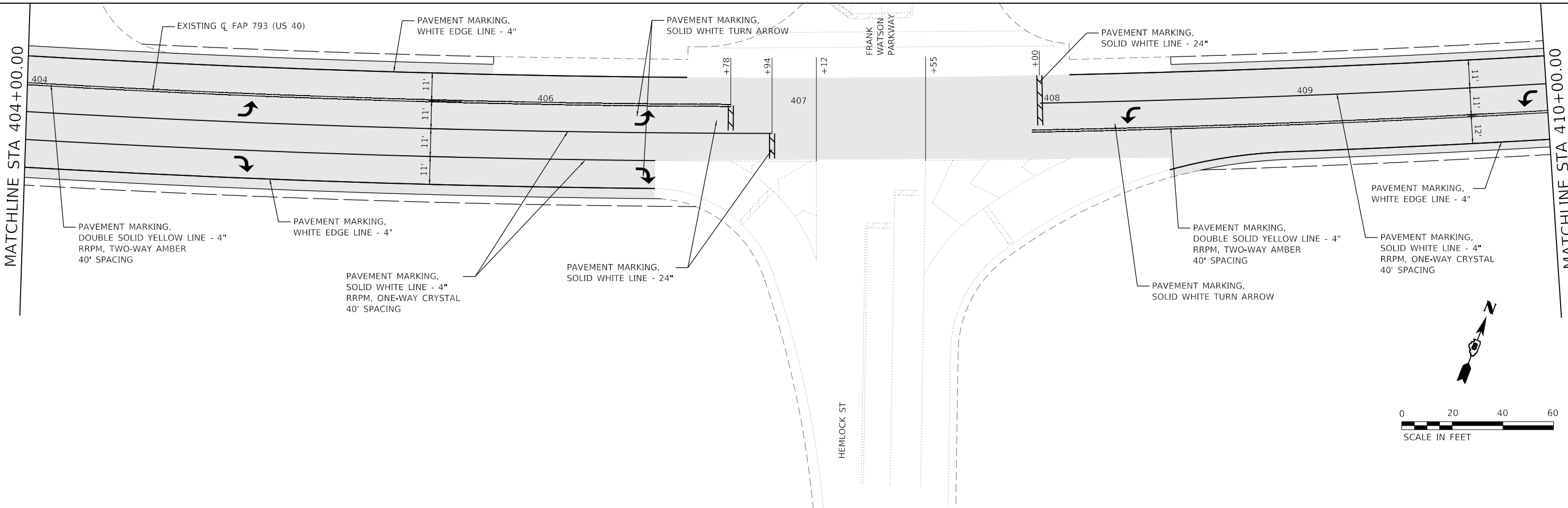
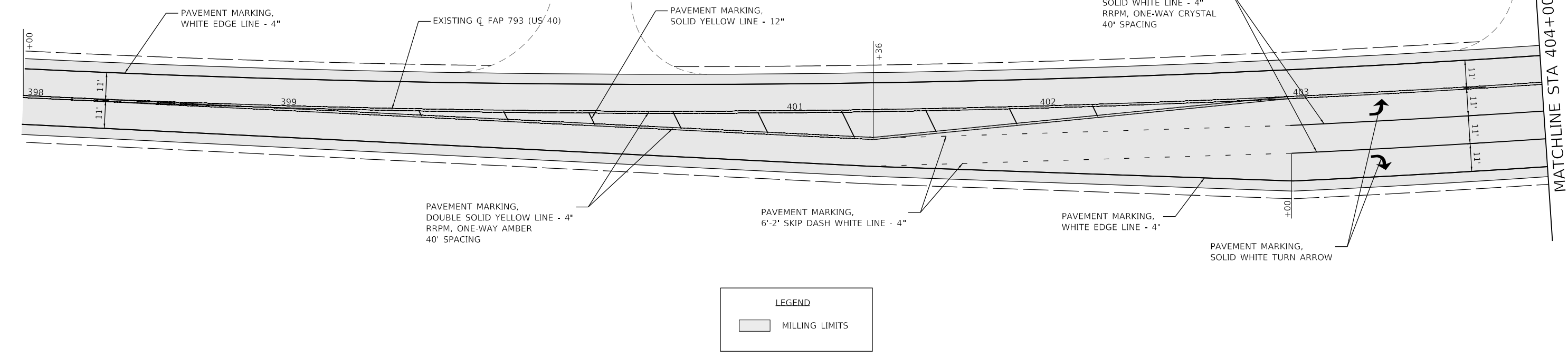
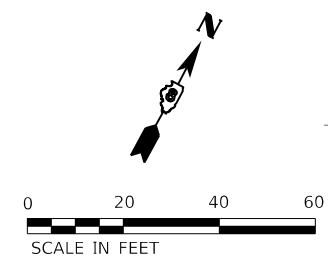
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	DATE -	REVISED -

**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

**PAVEMENT MARKING PLAN
US 40 / LAKE RD**

SCALE: SHEET 4 OF 9 SHEETS STA. TO STA.

F.A.P. RTE. 793	SECTION (R-1)RS-5	COUNTY MADISON	TOTAL SHEETS 44	SHEET NO. 23
CONTRACT NO. 76M79			ILLINOIS FED. AID PROJECT	



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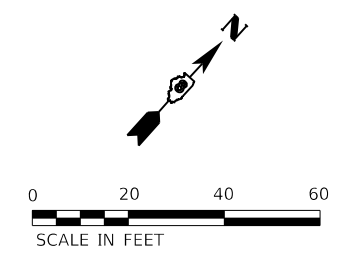
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PLOT DATE = 8/26/2022	CHECKED -	REVISED -
	DATE -	REVISED -

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

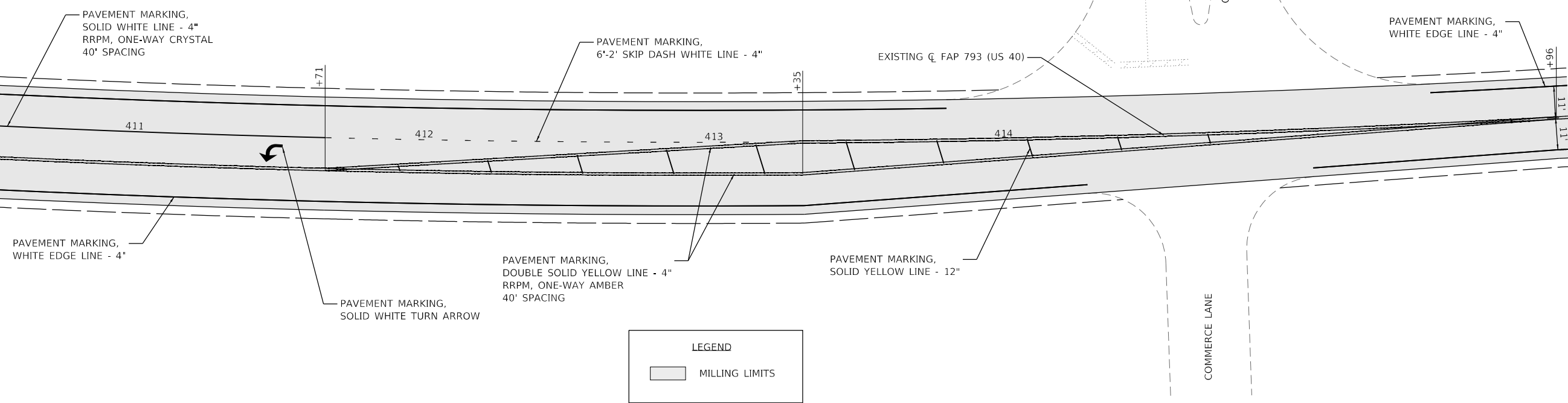
PAVEMENT MARKING PLAN
US 40 / FRANK WATSON PKWY

SCALE: SHEET 5 OF 9 SHEETS STA. TO STA.

F.A.P. RTE. 793	SECTION (R-1)RS-5	COUNTY MADISON	TOTAL SHEETS 44	SHEET NO. 24
			CONTRACT NO. 76M79	
ILLINOIS FED. AID PROJECT				



MATCHLINE STA 410+00.00



LEGEND	
	MILLING LIMITS

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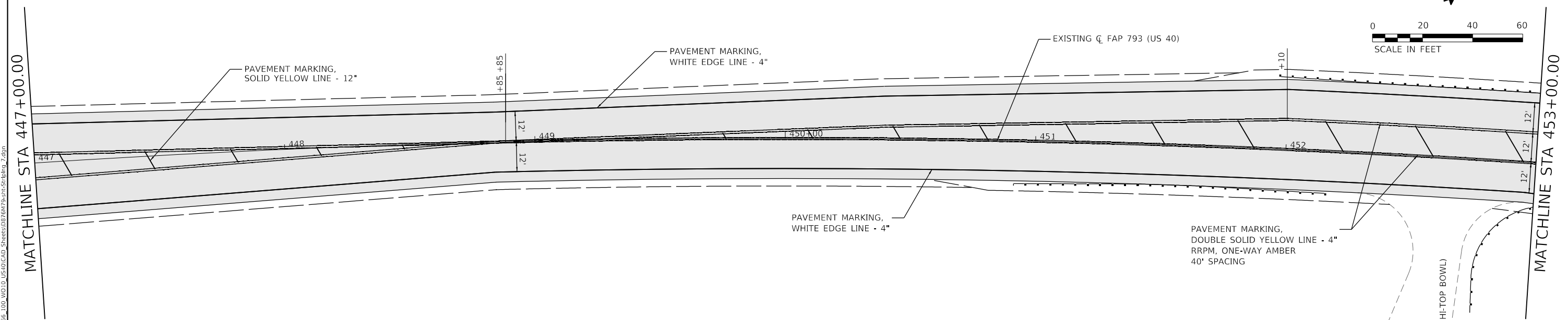
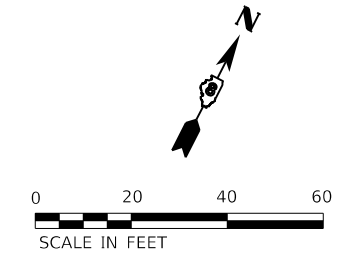
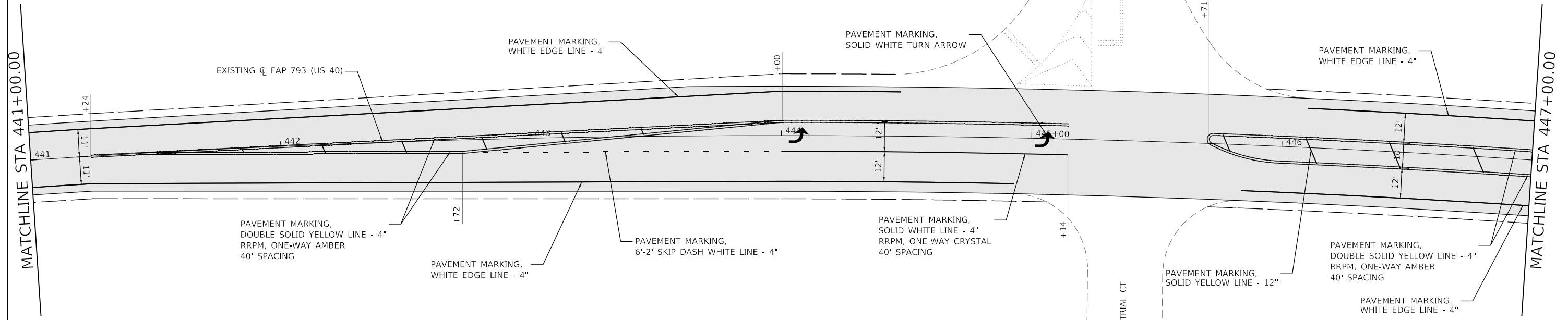
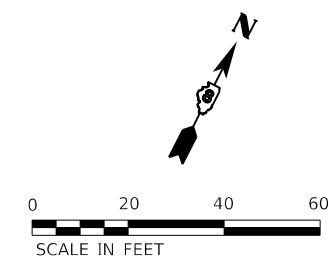
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PLOT DATE =	8/26/2022	CHECKED -	REVISED -
		DATE -	REVISED -

**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

**PAVEMENT MARKING PLAN
US 40 / COMMERCE LN**

SCALE: SHEET 6 OF 9 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	25
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				



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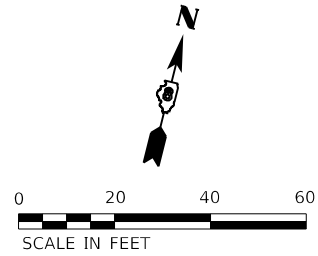
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**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

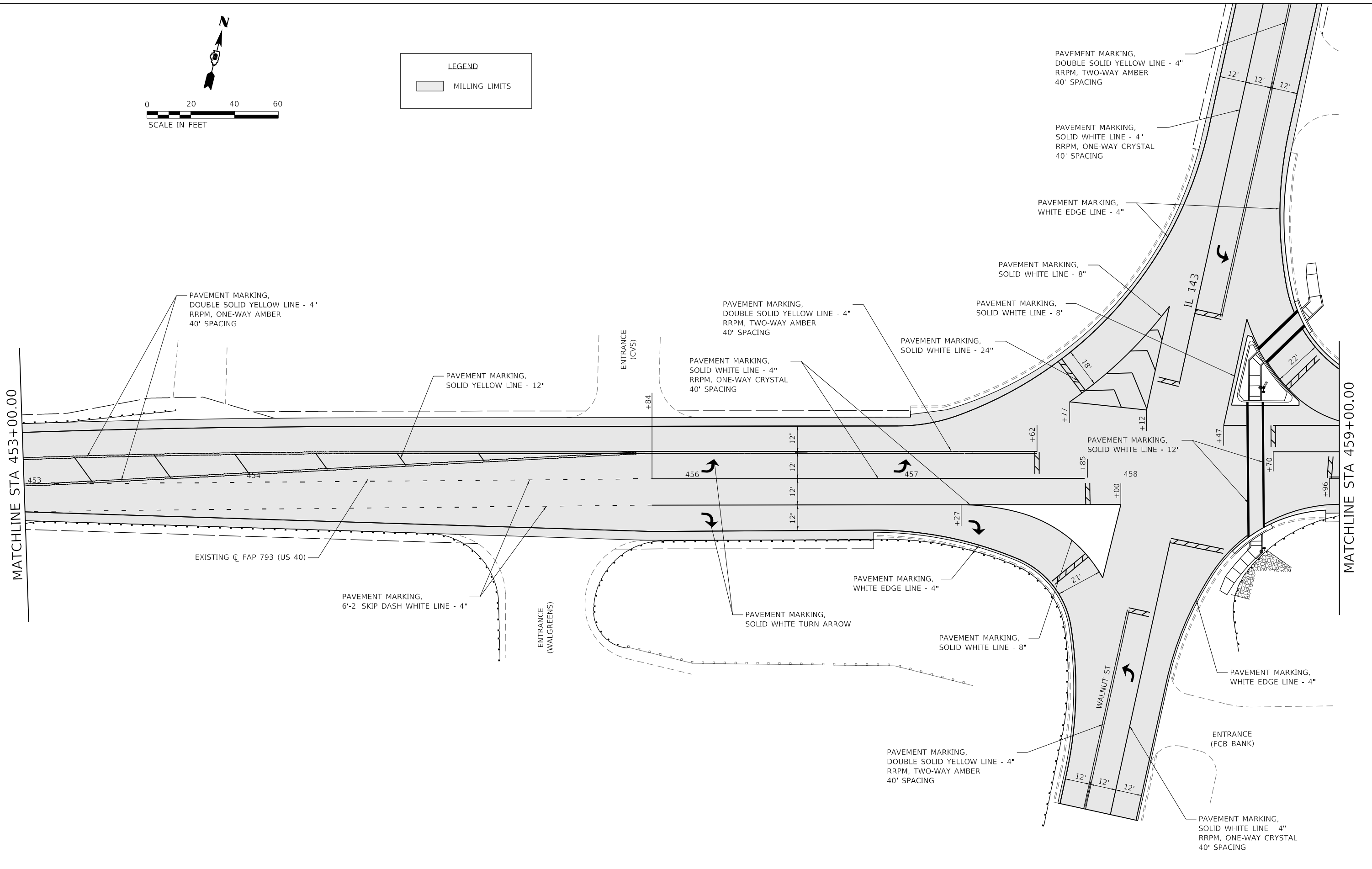
**PAVEMENT MARKING PLAN
US 40 / PLAZA DR**

SCALE: SHEET 7 OF 9 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	26
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				



LEGEND	
	MILLING LIMITS



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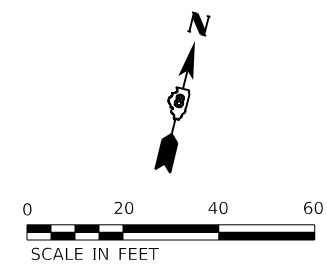
HMG
 ENGINEERS
 IL PROF DESIGN FIRM 184,000899

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PLOT DATE =	8/26/2022	DATE -	REVISD -

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

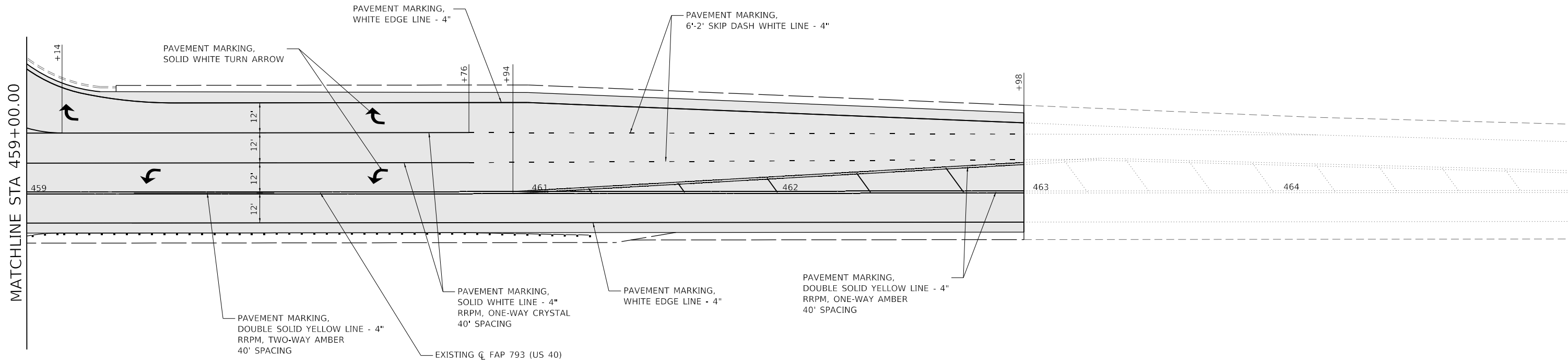
PAVEMENT MARKING PLAN	
US 40 / IL 143	
SCALE:	SHEET 8 OF 9 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	27
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				



LEGEND

█ MILLING LIMITS



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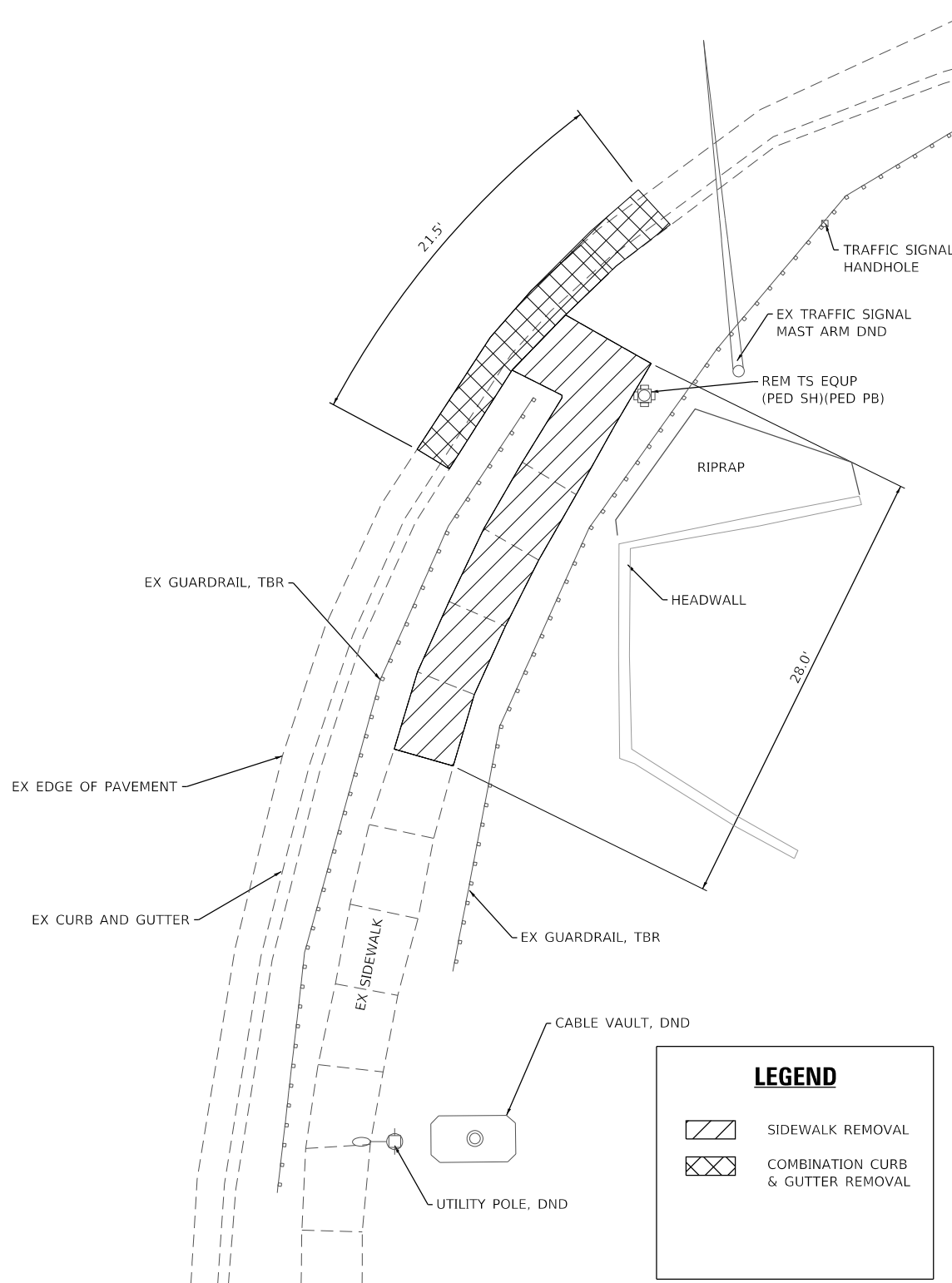
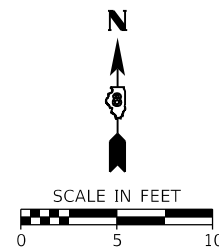
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PLOT DATE = 8/26/2022	CHECKED -	REVISED -
	DATE -	REVISED -

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

PAVEMENT MARKING PLAN			
US 40 / IL 143			
SCALE:	SHEET 9 OF 9 SHEETS	STA.	TO STA.

F.A.P. RTE. 793	SECTION (R-1)RS-5	COUNTY MADISON	TOTAL SHEETS 44	SHEET NO. 28
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				

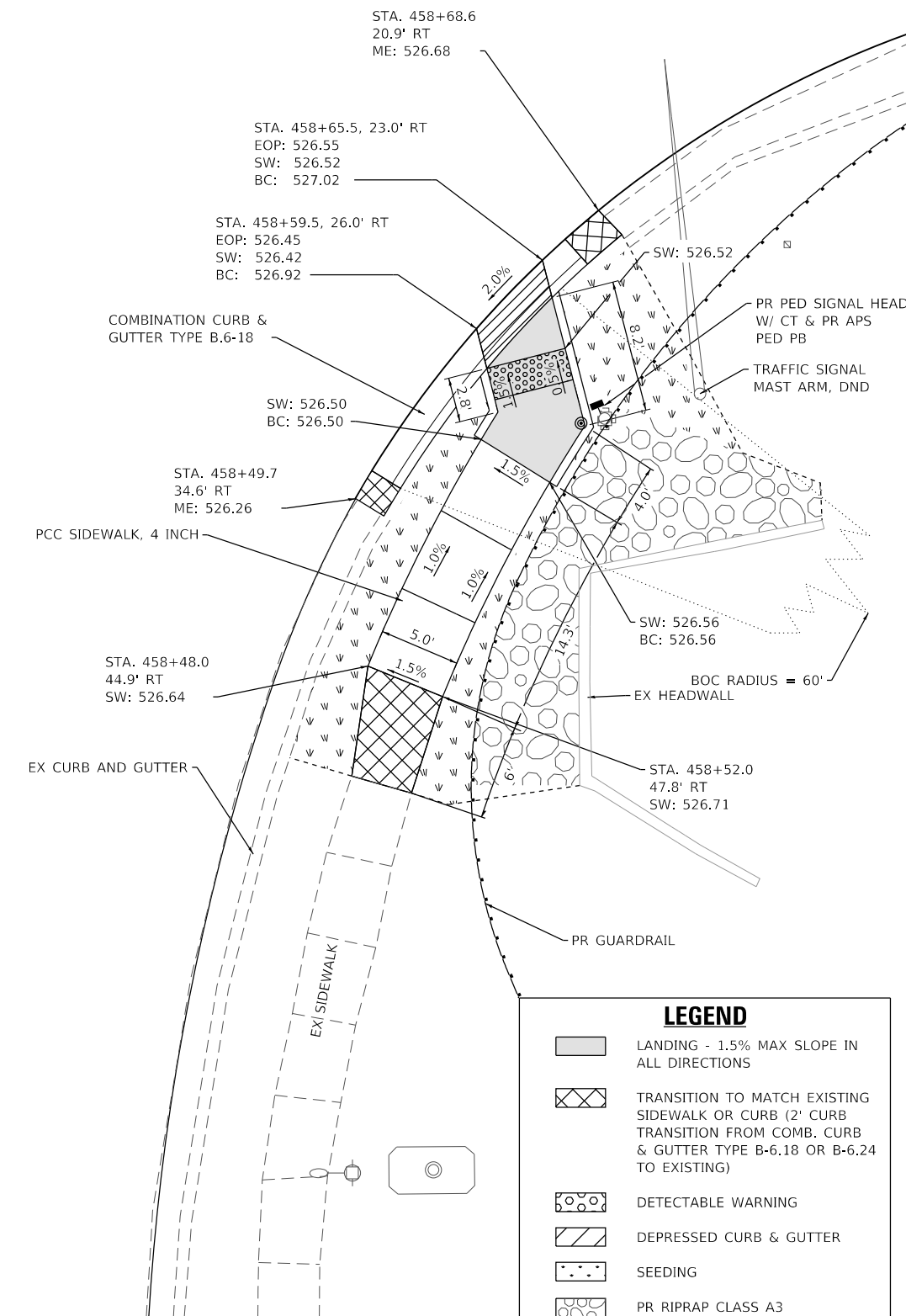
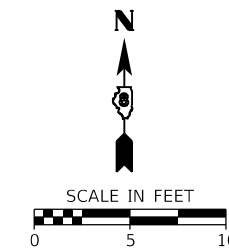
US ROUTE 40



LEGEND

- SIDEWALK REMOVAL
- COMBINATION CURB & GUTTER REMOVAL

US ROUTE 40



LEGEND

- LANDING - 1.5% MAX SLOPE IN ALL DIRECTIONS
- TRANSITION TO MATCH EXISTING SIDEWALK OR CURB (2' CURB TRANSITION FROM COMB. CURB & GUTTER TYPE B-6.18 OR B-6.24 TO EXISTING)
- DETECTABLE WARNING
- DEPRESSED CURB & GUTTER
- SEEDING
- PR RIPRAP CLASS A3

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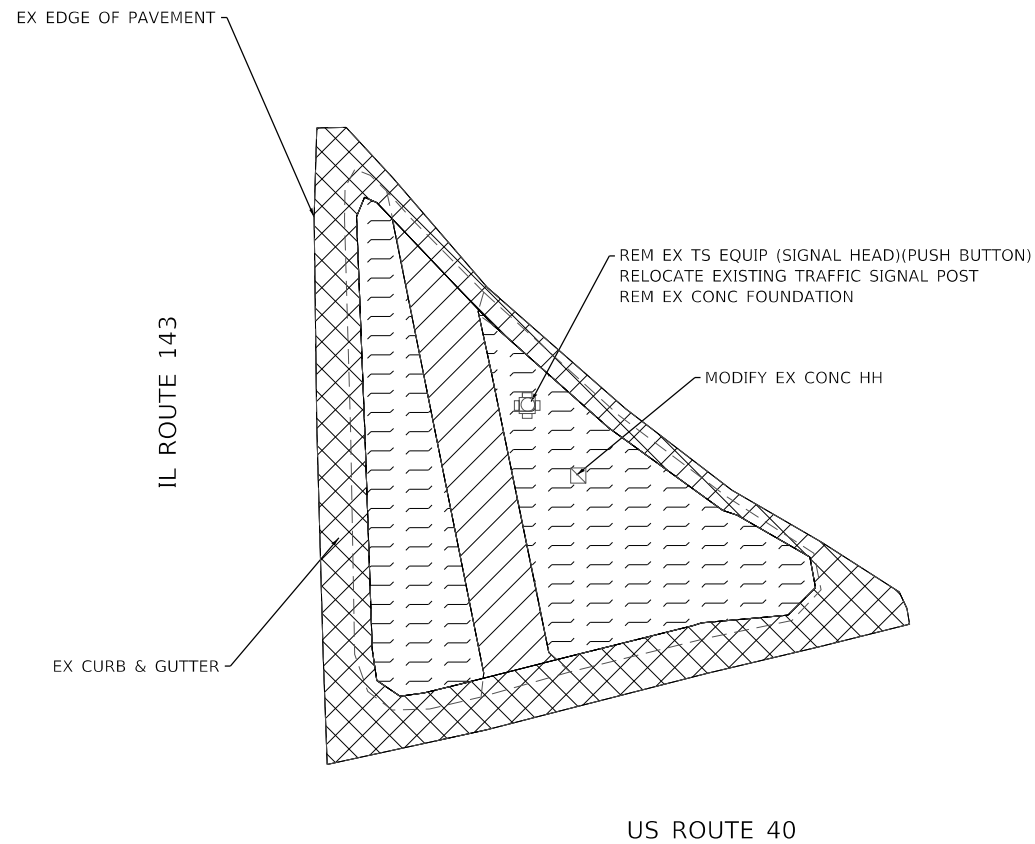
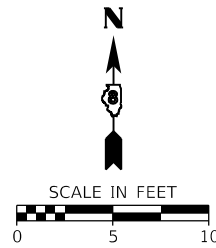
HMG
ENGINEERS
IL PROF DESIGN FIRM 184,000899

USER NAME = bratermann	DESIGNED -	REVISED -
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PLOT DATE = 8/25/2022	CHECKED -	REVISED -
	DATE -	REVISED -

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

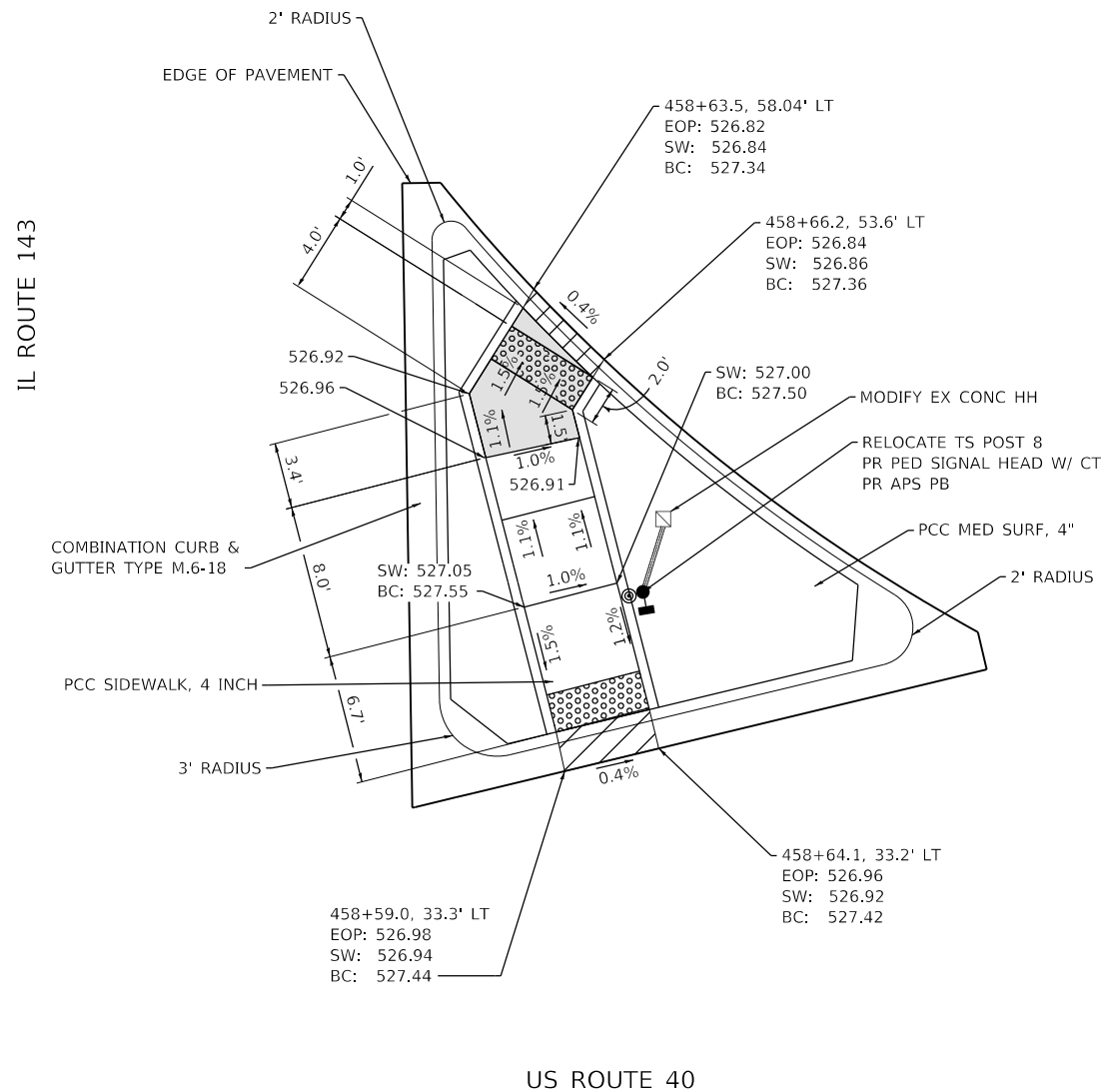
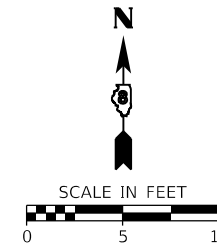
SIDEWALK RAMP DETAILS
SOUTHEAST CORNER US ROUTE 40 AND WALNUT STREET
SCALE: 1" = 5' SHEET 1 OF 3 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	29
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				



LEGEND

- SIDEWALK REMOVAL
- COMBINATION CURB & GUTTER REMOVAL
- MEDIAN REMOVAL



LEGEND

- LANDING - 1.5% MAX SLOPE IN ALL DIRECTIONS
- TRANSITION TO MATCH EXISTING SIDEWALK OR CURB (2' CURB TRANSITION FROM COMB. CURB & GUTTER TYPE B-6.18 OR B-6.24 TO EXISTING)
- DETECTABLE WARNING
- DEPRESSED CURB & GUTTER
- SEEDING

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	DATE -	REVISED -

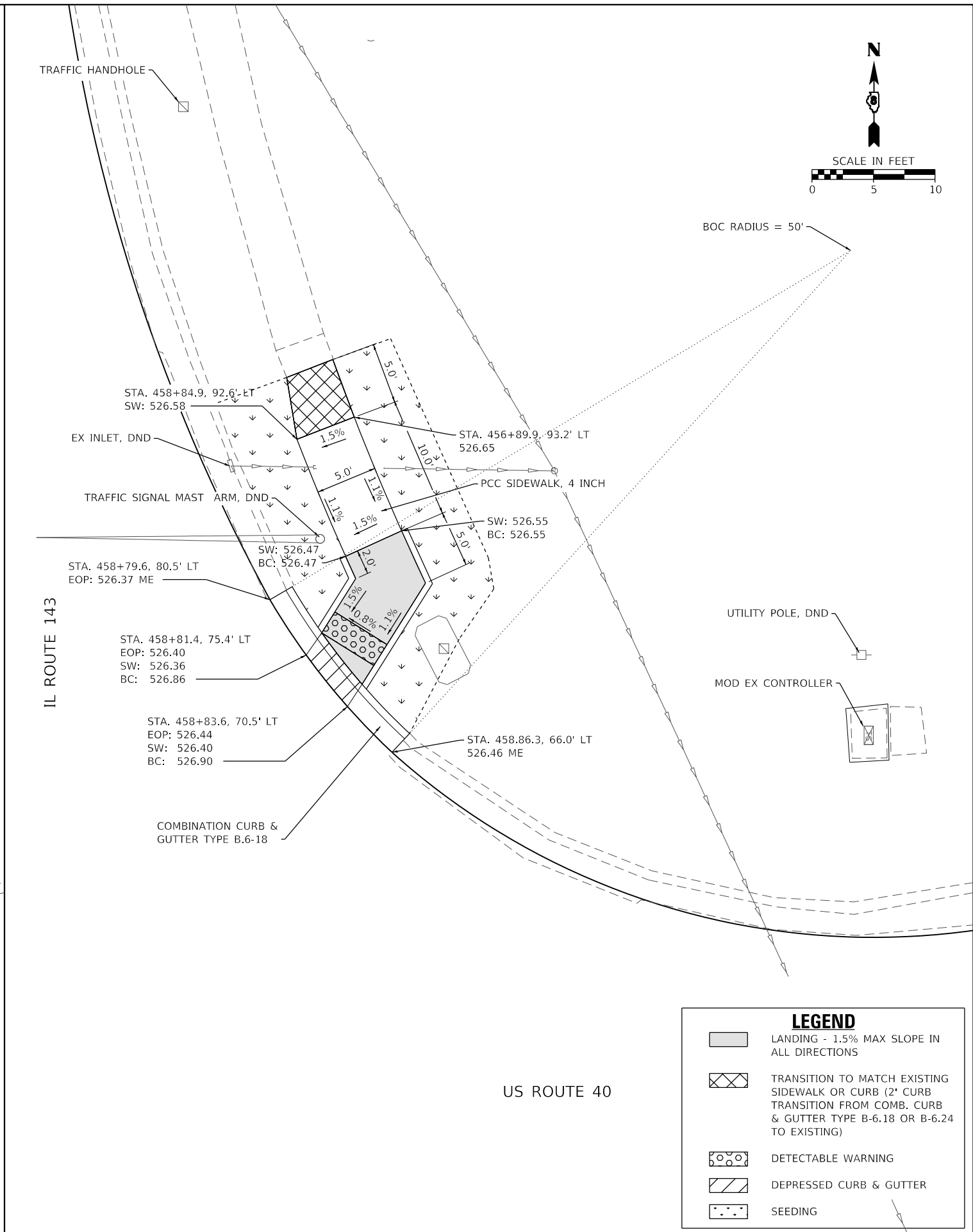
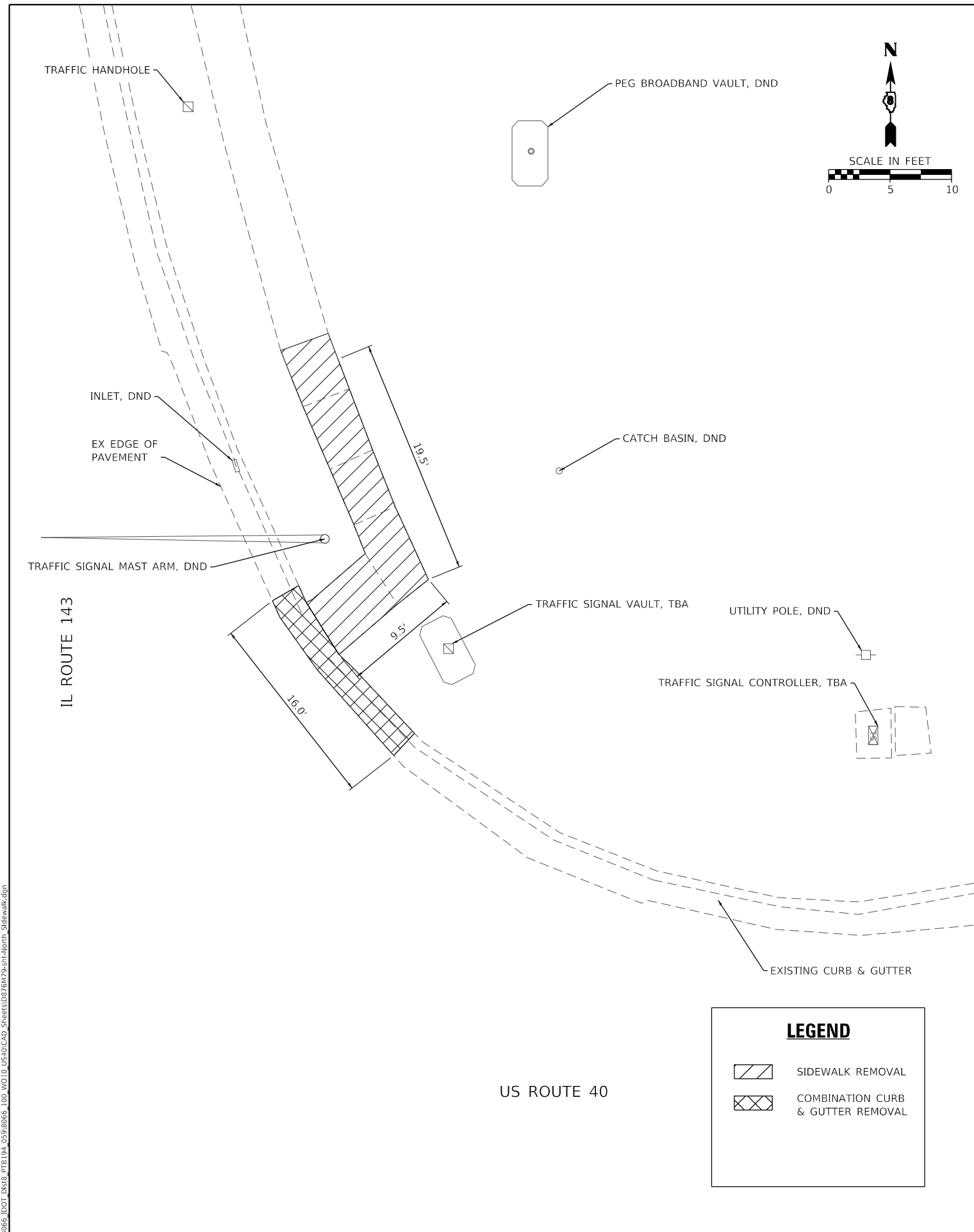
**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

**SIDEWALK RAMP DETAILS
MEDIAN US ROUTE 40 AND IL ROUTE 143**

SCALE: 1" = 5' SHEET 2 OF 3 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	30
CONTRACT NO. 76M79			ILLINOIS FED. AID PROJECT	

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PLOT DATE = 8/25/2022	CHECKED -	REVISED -
	DATE -	REVISED -

STATE OF ILLINOIS
 DEPARTMENT OF TRANSPORTATION

**SIDEWALK RAMP DETAILS
 NORTHEAST CORNER US ROUTE 40 AND IL ROUTE 143**











SCALE: 1" = 5' SHEET 3 OF 3 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	31
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				

TRAFFIC SIGNAL GENERAL NOTES

- PRIOR TO COMMENCING CONSTRUCTION OF ANY COMPONENT OF THE PROPOSED TRAFFIC SIGNAL SYSTEM, ALL UNDERGROUND UTILITIES SHALL BE FIELD LOCATED ACCORDING TO ARTICLE 107.39 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". AGENCIES KNOWN TO HAVE FACILITIES WITHIN THE PROJECT LIMITS ARE LISTED IN THE GENERAL NOTES OF THE PLANS.
- NEW MOUNTING HARDWARE AND BRACKETS SHALL BE USED FOR ALL PROPOSED TRAFFIC SIGNAL EQUIPMENT AND ON THE TRAFFIC SIGNAL POLE TO BE RELOCATED.
- MOUNTING HARDWARE, EXCEPT WHERE NOTED, SHALL BE UNPAINTED ALUMINUM. ALL BOLTS, SCREWS, NUTS, AND WASHERS SHALL BE STAINLESS STEEL. ANTI-SEIZE PASTE COMPOUND SHALL BE USED ON ALL MOUNTING HARDWARE FIELD CONNECTIONS.
- EXTENSION ARMS MAY BE NECESSARY TO INSTALL THE ACCESSIBLE PEDESTRIAN SIGNAL PUSH BUTTONS TO MEET ADA POLICY. THE COST FOR THE EXTENSION ARMS SHALL BE INCLUDED IN THE UNIT PRICE FOR ACCESSIBLE PEDESTRIAN SIGNALS.
- ALL TRAFFIC SIGNAL CABLES SHALL BE #14 AWG STRANDED COPPER UNLESS OTHERWISE SPECIFIED. TERMINAL ENDS SHALL HAVE CRIMPED-ON RING TONGUE CONNECTORS.
- THE PROPOSED LOCATION OF SIGNAL PUSH BUTTONS AND PEDESTRIAN SIGNAL HEADS SHALL BE APPROVED BY THE ENGINEER BEFORE INSTALLATION.
- IF THERE IS NOT SUFFICIENT SLACK TO RELOCATE EXISTING PEDESTRIAN SIGNAL HEADS OR PUSH BUTTONS; REMOVE ELECTRIC CABLE FROM CONDUIT QUANTITY HAS BEEN INCLUDED TO REMOVE THE TRAFFIC SIGNAL CABLE ONLY FOR THE RESPECTIVE EQUIPMENT AND INSTALL NEW TRAFFIC SIGNAL CABLE IN THE EXISTING CONDUIT.
- EXISTING NO. 6, EQUIPMENT GROUNDING CABLE IS NOT INTENDED TO BE REMOVED WITH SIGNAL CABLE WHEN RELOCATING TRAFFIC SIGNAL EQUIPMENT.

TRAFFIC SIGNAL LEGEND

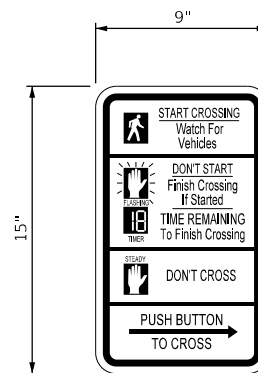
	EXISTING HANDHOLE
	EXISTING DOUBLE HANDHOLE
	EXISTING CONDUIT
	PROPOSED CONDUIT
	EXISTING SIGNAL HEAD, PEDESTRIAN
	EXISTING PEDESTRIAN PUSH BUTTON DETECTOR
	EXISTING CONTROLLER
	EXISTING SIGNAL POST
	PROPOSED SIGNAL HEAD, PEDESTRIAN
	PROPOSED APS PEDESTRIAN PUSH BUTTON

TRAFFIC SIGNAL BILL OF MATERIALS

CODE NO.	ITEM	UNIT	TOTAL QUANTITIES
72000100	SIGN PANEL - TYPE 1	SQ FT	1.8
81028370	UNDERGROUND CONDUIT, PVC, 3" DIA.	FOOT	5
87301215	ELECTRIC CABLE IN CONDUIT, SIGNAL NO. 14 2C	FOOT	110
87301225	ELECTRIC CABLE IN CONDUIT, SIGNAL NO. 14 3C	FOOT	117
87301900	ELECTRIC CABLE IN CONDUIT, EQUIPMENT GROUNDING CONDUCTOR, NO. 6 1C	FOOT	15
87800100	CONCRETE FOUNDATION, TYPE A	FOOT	3
88102719	PEDESTRIAN SIGNAL HEAD, LED, 1-FACE, POST MOUNTED WITH COUNTDOWN TIMER	EACH	2
89501150	RELOCATE EXISTING TRAFFIC SIGNAL POST	EACH	1
89502200	MODIFY EXISTING CONTROLLER	EACH	1
89502300	REMOVE ELECTRIC CABLE FROM CONDUIT	FOOT	226
89502375	REMOVE EXISTING TRAFFIC SIGNAL EQUIPMENT	EACH	1
89502385	REMOVE EXISTING CONCRETE FOUNDATION	EACH	1
X8140205	MODIFY EXISTING CONCRETE HANDHOLE	EACH	1
X8760200	ACCESSIBLE PEDESTRIAN SIGNALS	EACH	2

STANDARDS FOR TRAFFIC SIGNAL SHEETS

720001	SIGN PANEL MOUNTING DETAILS
873001	TRAFFIC SIGNAL GROUNDING & BONDING
878001	CONCRETE FOUNDATION DETAILS
880006	TRAFFIC SIGNAL MOUNTING DETAILS



**ACCESSIBLE PEDESTRIAN SIGNAL SIGN
R10-3e**

(A)

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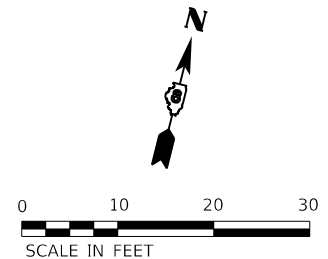
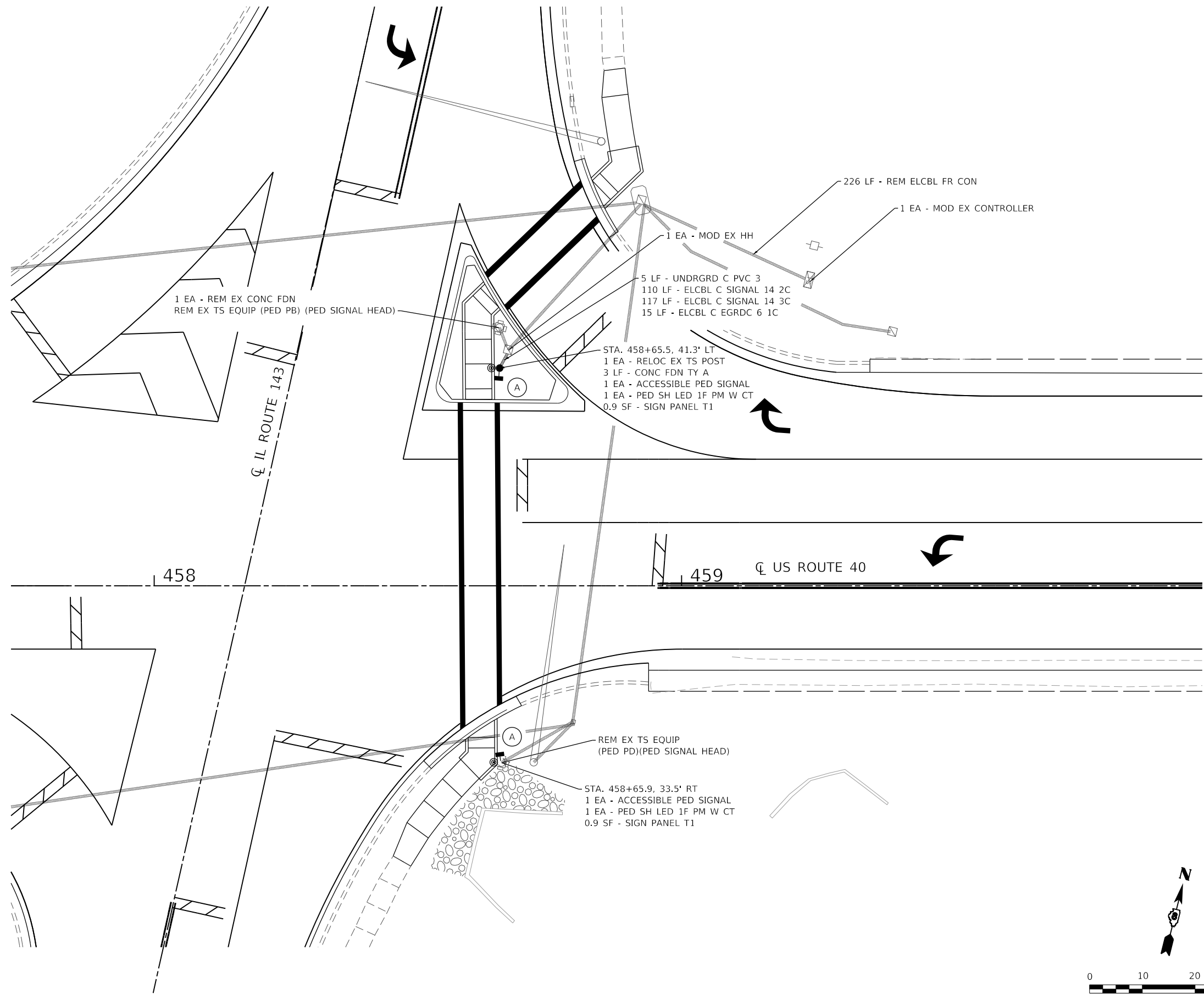
HMG
ENGINEERS
IL PROF DESIGN FIRM 184,000899

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PLOT DATE = 8/25/2022	CHECKED -	REVISED -
	DATE -	REVISED -

**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

TRAFFIC SIGNAL SHEETS	
SCALE: NTS	SHEET 1 OF 2 SHEETS STA. TO STA.

F.A.P. RTE. 793	SECTION (R-1)RS-5	COUNTY MADISON	TOTAL SHEETS 44	SHEET NO. 32
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				



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PLOT DATE = 8/25/2022	CHECKED -	REVISED -
	DATE -	REVISED -

**STATE OF ILLINOIS
 DEPARTMENT OF TRANSPORTATION**

TRAFFIC SIGNAL SHEETS

SCALE: 1" = 20' SHEET 2 OF 2 SHEETS STA. TO STA.

F.A.P. RTE. 793	SECTION (R-1)RS-5	COUNTY MADISON	TOTAL SHEETS 44	SHEET NO. 33
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				

NOTES:

SEE TABLE "DETECTOR LOOP REQUIREMENTS AND CALCULATIONS"
FOR LOOP SIZE AND CALCULATED NUMBER OF TURNS.
SEE "DETAIL A" FOR INSTALLING DETECTOR LOOP WIRES
IN EXISTING CONDUITS.

SCHEDULE OF QUANTITIES			TOTAL QUANTITIES	US 40 & IL 143	US 40 & F. W. PRKWY. / HEMLOCK ST.	US 40 & DOUGLAS ST. / MARINE RD.
CODE NO	ITEM	UNIT				
88600600	DETECTOR LOOP REPLACEMENT	FOOT	5289	2193	787	2309

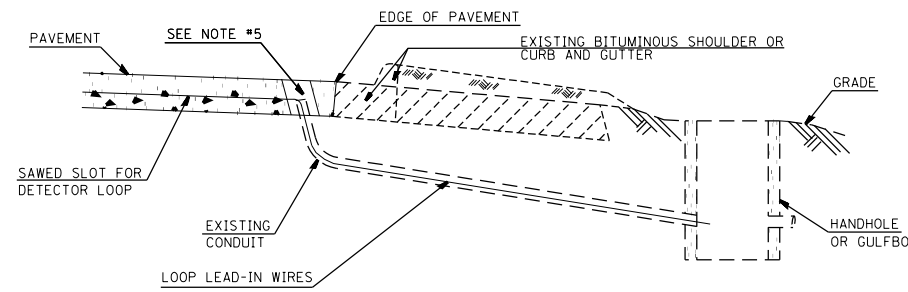
DETECTOR LOOP REQUIREMENTS AND CALCULATIONS FOR IL 143/US 40 & N. DOUGLAS ST. (CR 2670E)					
LOOP#	PHASE#	LOOP SIZE (FT. X FT.)	REQUIRED # OF TURNS	CALCULATED INDUCTANCE MICROHENRIES	CALCULATED RESISTANCE OHMS
1. EB CCO	6	6' x 6'	7	507.27	3.63
2. EB LT CD	1	6' x 50'(Q)	3-6-3	851.78	3.09
3. EB THRU CD	6	6' x 50'(Q)	3-6-3	849.14	3.03
4. EB RT CD	6	6' x 50'(Q)	3-6-3	847.16	2.98
5. NB RR THRU 1 CD	4	6' x 50'(Q)	3-6-3	855.74	3.18
6. NB RR THRU 2 CD	4	6' x 50'(Q)	3-6-3	855.30	3.17
7. NB THRU CD	4	6' x 50'(Q)	3-6-3	823.40	2.44
8. NB RT CD	4	6' x 6'	6	813.94	2.23
9. WB CCO	2	6' x 50'(Q)	3-6-3	351.46	2.56
10. WB LT CD	5	6' x 50'(Q)	3-6-3	801.84	1.95
11. WB THRU CD	2	6' x 50'(Q)	3-6-3	798.54	1.85
12. WB RT CD	2	6' x 6'	6	796.56	1.83
13. SB CCO	3	6' x 50'(Q)	3-6-3	342.00	2.34
14. SB THRU CD	3	6' x 50'(Q)	3-6-3	824.50	2.47
15. SB RT CD	3	6' x 45'(Q)	3-6-3	747.08	2.26

DETECTOR LOOP REQUIREMENTS AND CALCULATIONS FOR IL 143/US 40 & FRANK WATSON PRKWY_HEMLOCK ST.					
LOOP#	PHASE#	LOOP SIZE (FT. X FT.)	REQUIRED # OF TURNS	CALCULATED INDUCTANCE MICROHENRIES	CALCULATED RESISTANCE OHMS
1. SB CCO	8	6' x 6'	6	374.12	3.07
2. SB LT CD	3	6' x 50'(Q)	3-6-3	853.10	3.12
3. SB THRU CD	8	6' x 50'(Q)	3-6-3	850.46	3.06
4. EB CCO	6	6' x 6'	7	514.31	3.79
5. EB LT CD	1	6' x 50'(Q)	3-6-3	854.86	3.16
6. EB THRU CD	6	6' x 50'(Q)	3-6-3	852.66	3.11
7. EB RT CD	6	6' x 50'(Q)	3-6-3	849.80	3.04
8. NB LT CD	7	6' x 50'(Q)	3-6-3	823.40	2.44
9. NB THRU CD	4	6' x 50'(Q)	3-6-3	820.98	2.39
10. NB RT CD	4	6' x 50'(Q)	3-6-3	818.12	2.32
11. WB CCO	2	6' x 6'	6	375.44	3.10
12. WB LT CD	2	6' x 50'(Q)	3-6-3	816.58	2.29
13. WB THRU CD	5	6' x 50'(Q)	3-6-3	815.04	2.25

DETECTOR LOOP REQUIREMENTS AND CALCULATIONS FOR IL 143/US 40 & WALNUT ST./IL 143					
LOOP#	PHASE#	LOOP SIZE (FT. X FT.)	REQUIRED # OF TURNS	CALCULATED INDUCTANCE MICROHENRIES	CALCULATED RESISTANCE OHMS
1. EB CCO	2	6' x 6'	7	512.11	3.74
2. EB LT CD	5	6' x 50'(Q)	3-6-3	859.70	3.27
3. EB THRU CD	2	6' x 50'(Q)	3-6-3	857.28	3.21
4. EB RT CD	2	6' x 50'(Q)	3-6-3	853.76	3.13
5. NB CCO	8	6' x 6'	6	355.20	2.64
6. NB LT CD	3	6' x 50'(Q)	3-6-3	838.36	2.78
7. NB THRU CD	8	6' x 50'(Q)	3-6-3	828.90	2.57
8. WB CCO	6	6' x 6'	6	351.90	2.57
9. WB LT CD	1	6' x 50'(Q)	3-6-3	817.68	2.31
10. WB THRU CD	6	6' x 50'(Q)	3-6-3	818.34	2.33
11. WB RT CD	6	6' x 50'(Q)	3-6-3	799.42	1.90
12. SB CCO	4	6' x 6'	6	339.80	2.29
13. SB LT CD	7	6' x 50'(Q)	3-6-3	812.40	2.19
14. SB THRU CD	4	6' x 50'(Q)	3-6-3	821.42	2.40
15. SB RT CD	4	6' x 50'(Q)	3-6-3	837.92	2.77

THE ABOVE VALUES ARE CALCULATED OF COMBINED LOOP AND LEAD-IN INDUCTANCE AND RESISTANCE. ACTUAL MEASURED VALUES SHOULD BE WITHIN +/- 20% OF THESE VALUES.

- Q=QUADRAPOLE
- * =SEE "DETAIL A"



DETAIL A
(NO SCALE)
INSTALLING DETECTOR LOOP WIRES IN EXISTING CONDUIT

1. DRILL OUT PAVEMENT SEALANT AND CLEAN EXISTING CONDUIT.
2. REMOVE EXISTING DETECTOR LOOP WIRES TO HANDHOLE OR GULFBOX.
3. INSTALL NEW LOOP LEAD-IN WIRES IN EXISTING CONDUIT.
4. SPLICE NEW DETECTOR LOOP WIRES TO EXISTING LOOP LEAD-IN CABLE IN HANDHOLE OR GULFBOX.
5. FILL HOLE WITH APPROVED SEALER. PREVENT SEALER FROM ENTERING INTO CONDUIT.
6. LOCATING UNDERGROUND CABLE WILL BE PAID FOR SEPARATELY.

NOT A PAY ITEM. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PAY ITEM "DETECTOR LOOP REPLACEMENT"

DETECTOR LOOP REPLACEMENT LEGEND

- EX. HANDHOLE
- ⊠ EX. DETECTOR LOOP
- ⊠ EX. TRAFFIC SIGNAL CONTROLLER
- EXISTING CONDUIT
- ▬ PROPOSED DETECTOR LOOP

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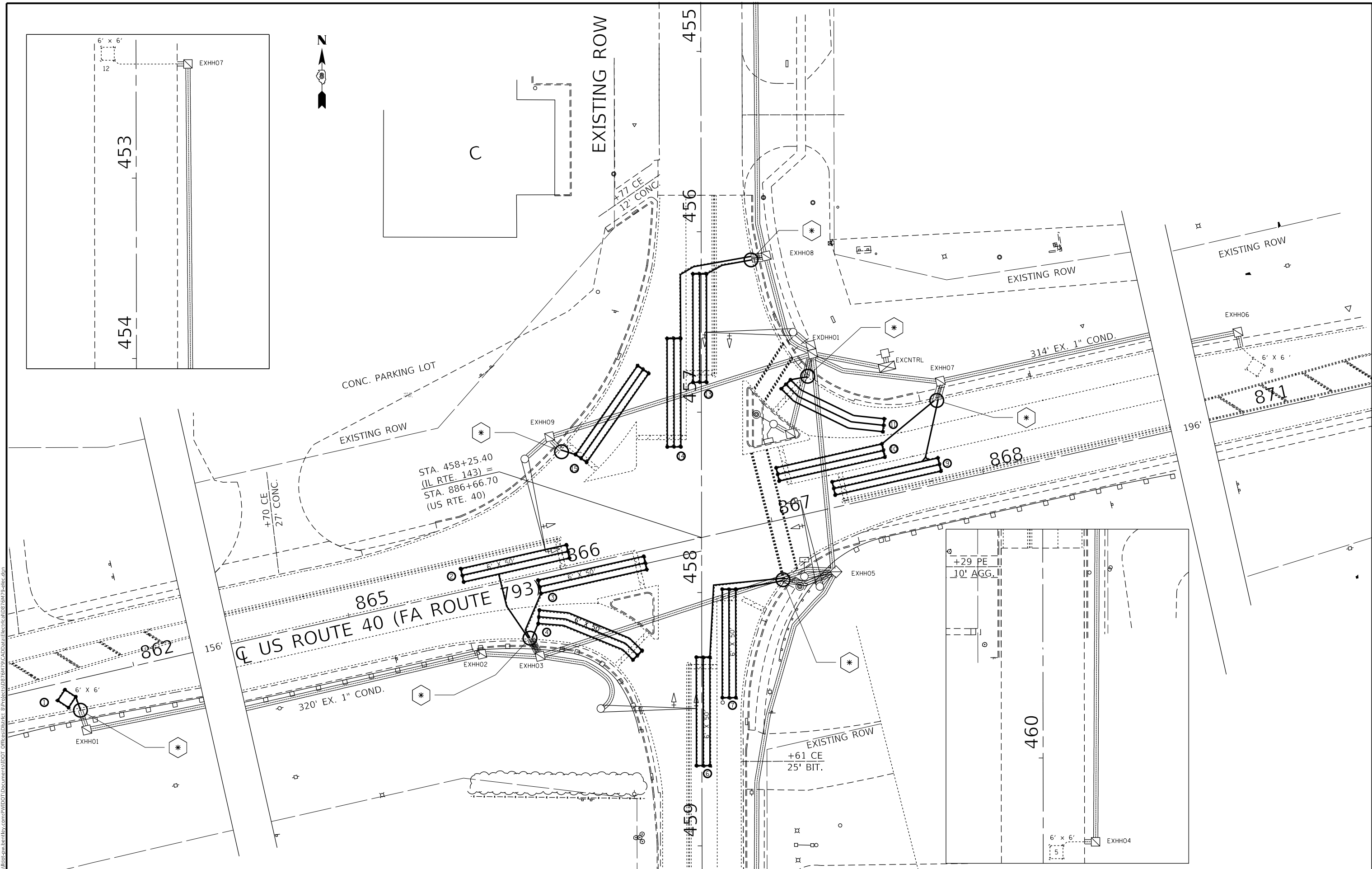
**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

**DETECTOR LOOP REPLACEMENT
GENERAL NOTES, SCHEDULE OF QUANTITIES,
DETAIL AND LEGEND**

SCALE: SHEET 01 OF 05 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	34
CONTRACT NO. 76M79			ILLINOIS FED. AID PROJECT	

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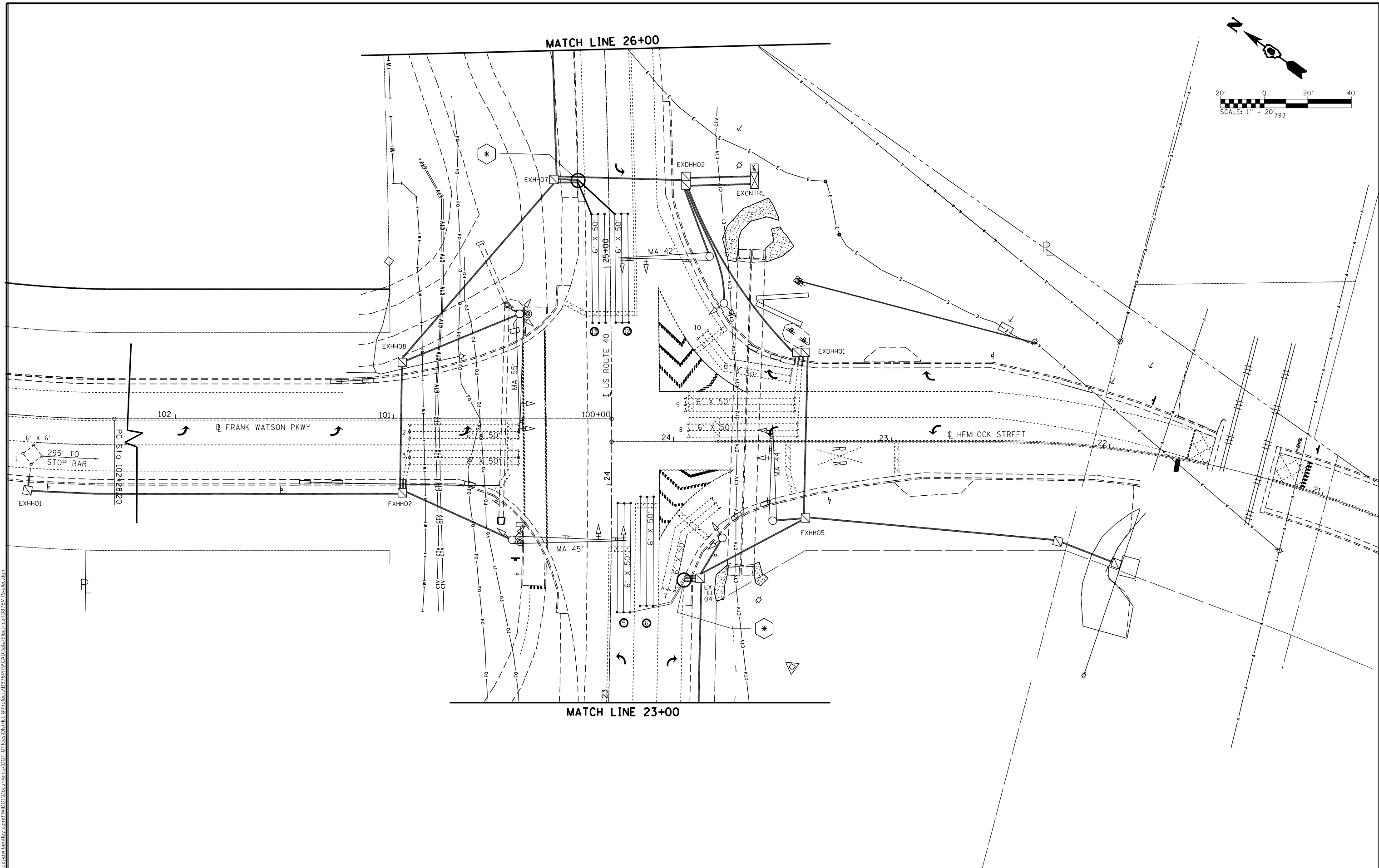
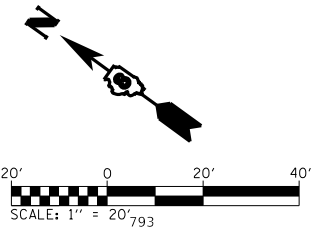


STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

DETECTOR LOOP REPLACEMENT PLAN
US 40 AT IL 143

F.A.P. RTE. 793	SECTION (R-1)RS-5	COUNTY MADISON	TOTAL SHEETS 44	SHEET NO. 35
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				

SCALE: SHEET 02 OF 05 SHEETS STA. TO STA.



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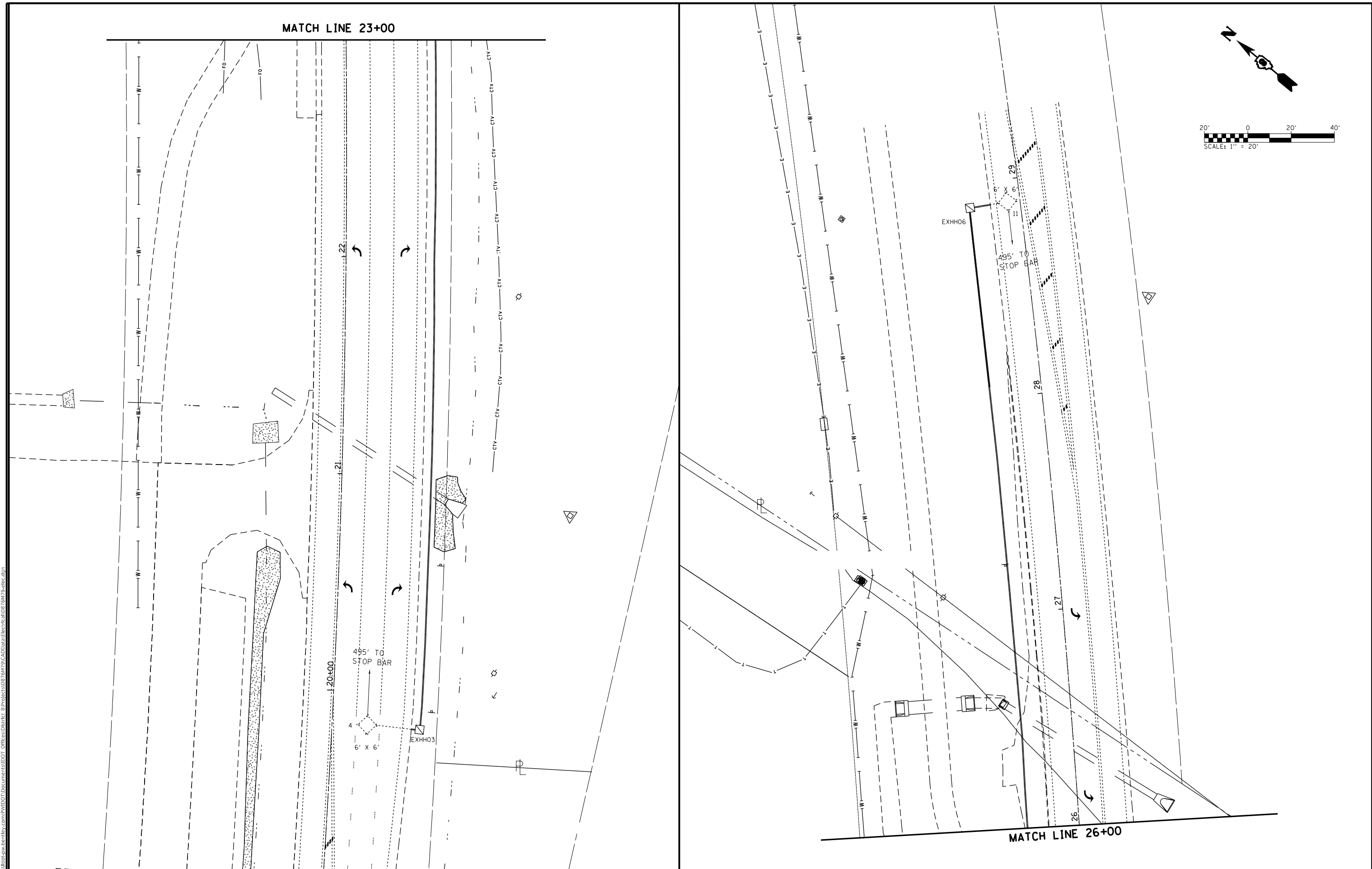
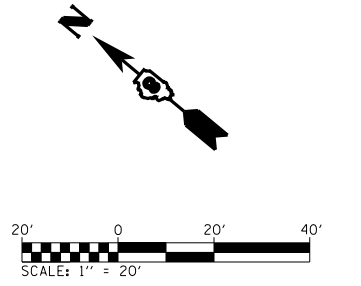
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STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

DETECTOR LOOP REPLACEMENT PLAN US 40 AT FRANK WATSON PRKWY./HEMLOCK ST. 1 OF 2			
SCALE:	SHEET 03	OF 05 SHEETS	STA. TO STA.

F.A.P. RTE. 793	SECTION (R-1)RS-5	COUNTY MADISON	TOTAL SHEETS 44	SHEET NO. 36
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				

MATCH LINE 23+00



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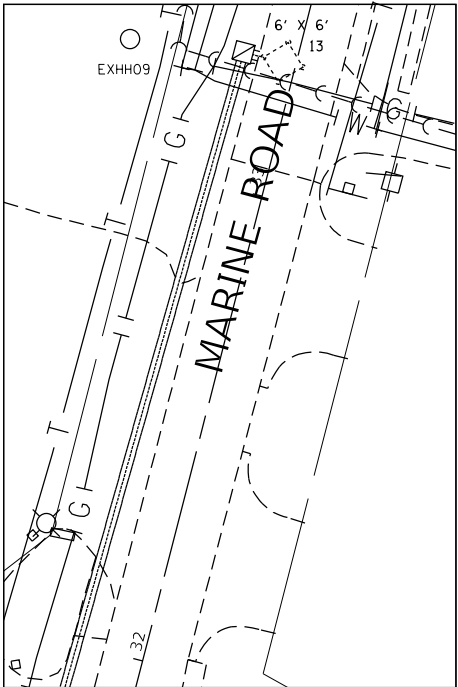
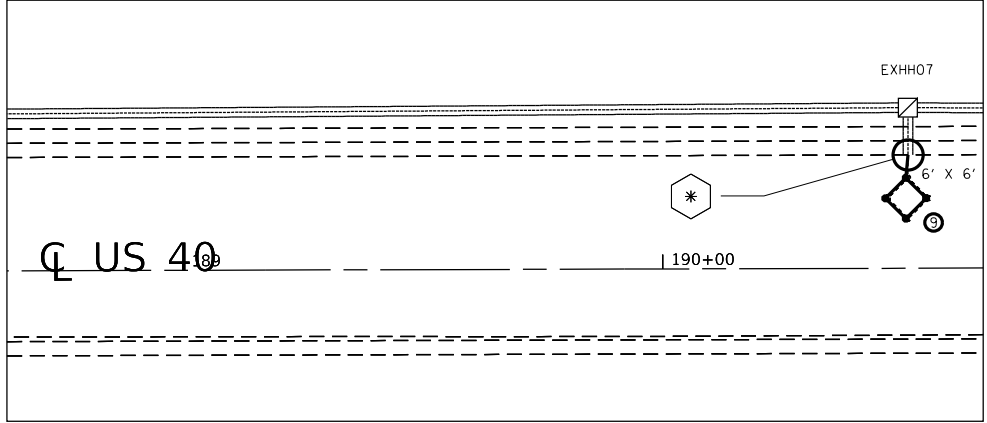
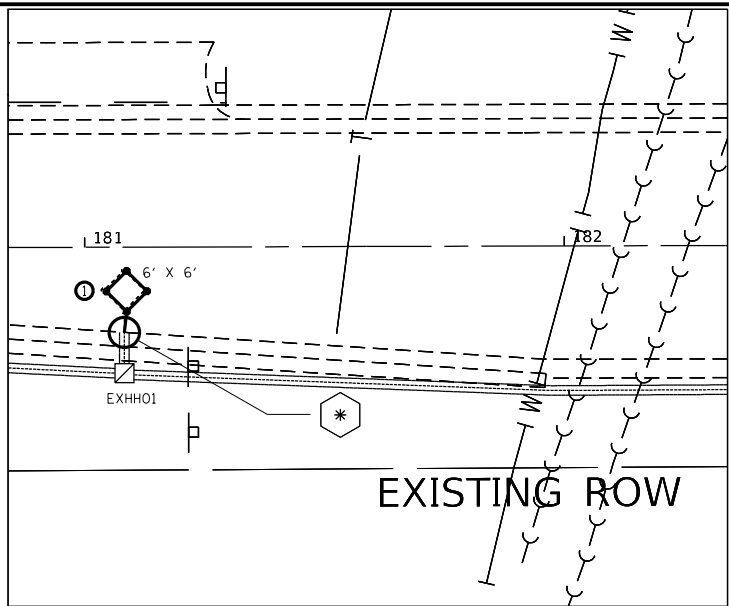
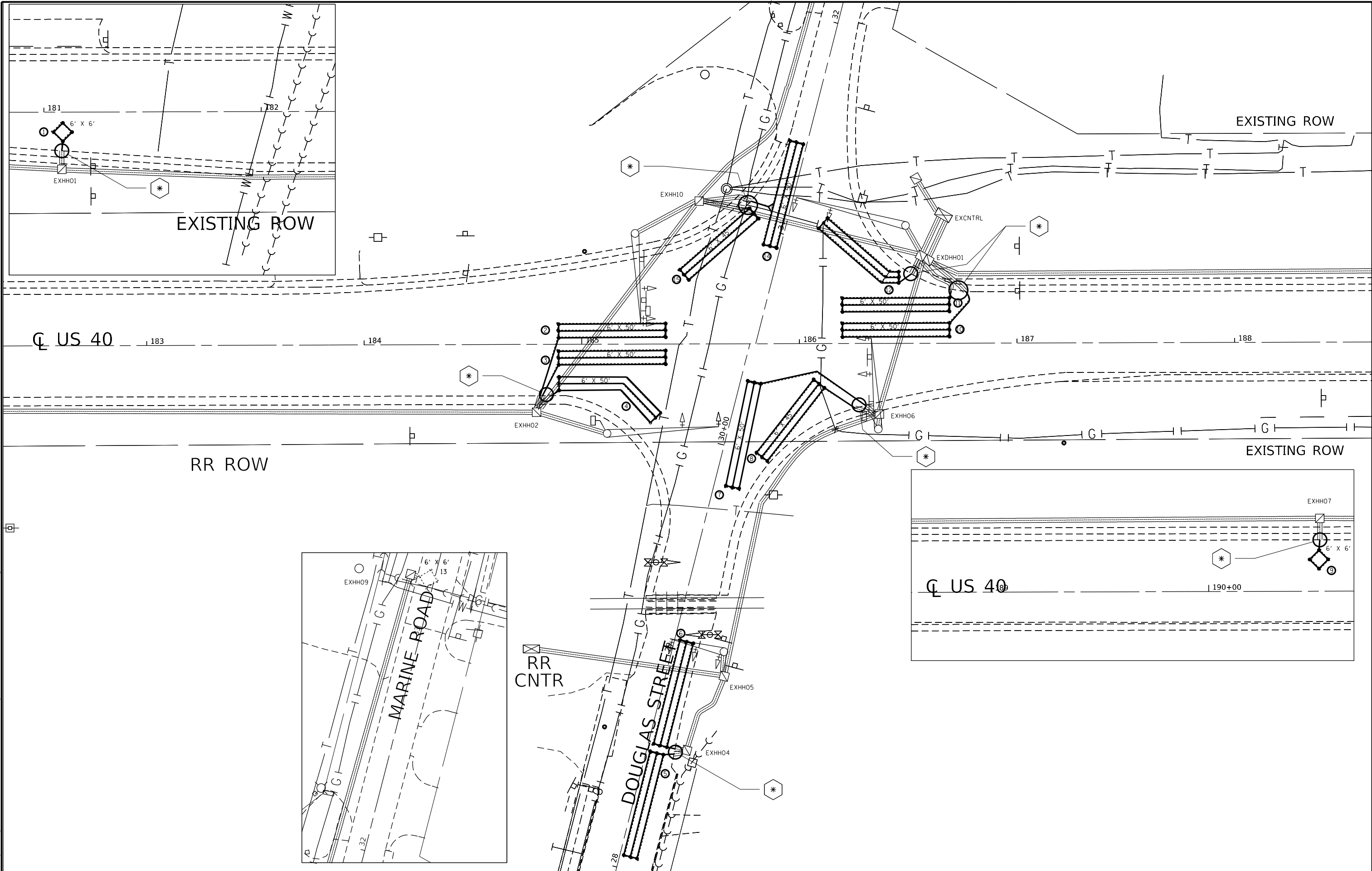
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STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

DETECTOR LOOP REPLACEMENT PLAN
US 40 AT FRANK WATSON PRKWAY./HEMLOCK ST.
2 OF 2

SCALE: SHEET 04 OF 05 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	37
			CONTRACT NO. 76M79	
ILLINOIS FED. AID PROJECT				



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STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

DETECTOR LOOP REPLACEMENT PLAN
US 40 AT DOUGLAS ST./MARINE RD.

SCALE: SHEET 05 OF 05 SHEETS STA. TO STA.

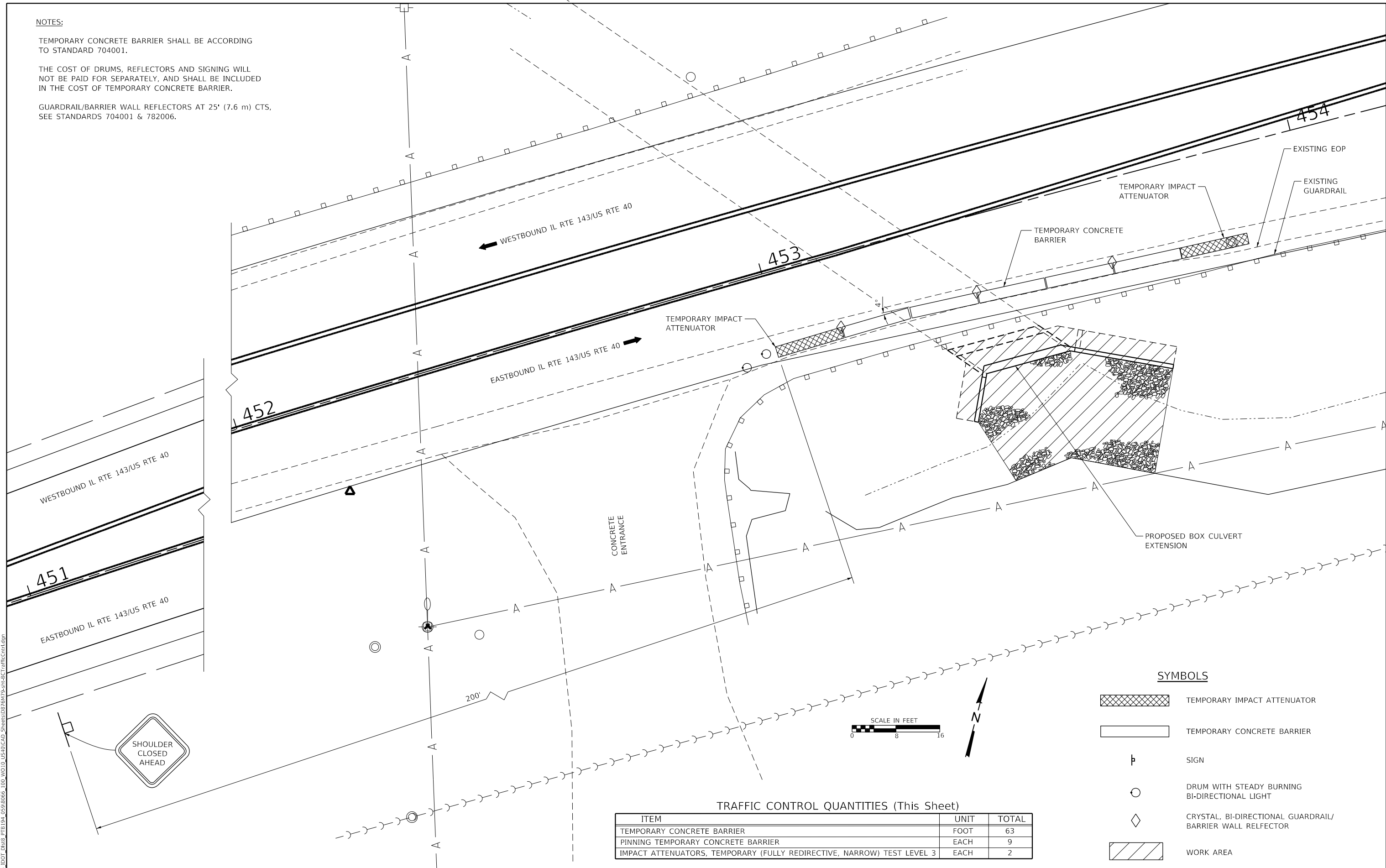
F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	38
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				

NOTES:

TEMPORARY CONCRETE BARRIER SHALL BE ACCORDING TO STANDARD 704001.

THE COST OF DRUMS, REFLECTORS AND SIGNING WILL NOT BE PAID FOR SEPARATELY, AND SHALL BE INCLUDED IN THE COST OF TEMPORARY CONCRETE BARRIER.

GUARDRAIL/BARRIER WALL REFLECTORS AT 25' (7.6 m) CTS, SEE STANDARDS 704001 & 782006.



WESTBOUND IL RTE 143/US RTE 40

WESTBOUND IL RTE 143/US RTE 40

EASTBOUND IL RTE 143/US RTE 40

EASTBOUND IL RTE 143/US RTE 40

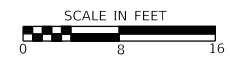


TRAFFIC CONTROL QUANTITIES (This Sheet)

ITEM	UNIT	TOTAL
TEMPORARY CONCRETE BARRIER	FOOT	63
PINNING TEMPORARY CONCRETE BARRIER	EACH	9
IMPACT ATTENUATORS, TEMPORARY (FULLY REDIRECTIVE, NARROW) TEST LEVEL 3	EACH	2

SYMBOLS

	TEMPORARY IMPACT ATTENUATOR
	TEMPORARY CONCRETE BARRIER
	SIGN
	DRUM WITH STEADY BURNING BI-DIRECTIONAL LIGHT
	CRYSTAL, BI-DIRECTIONAL GUARDRAIL/BARRIER WALL REFLECTOR
	WORK AREA



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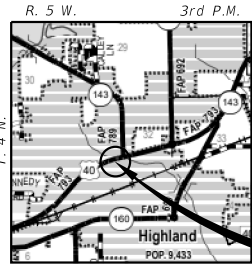
**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

**TRAFFIC CONTROL PLAN
STRUCTURE NO. 060-2514**

SCALE: SHEET 1 OF 1 SHEETS STA. TO STA.

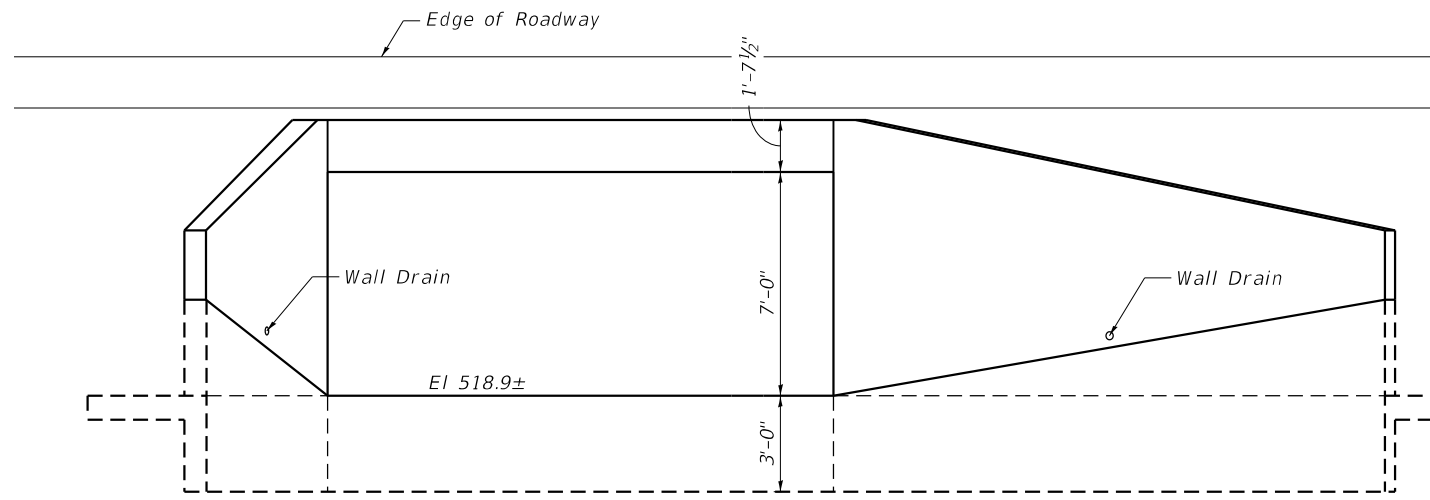
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			CONTRACT NO. 76M79	
ILLINOIS FED. AID PROJECT				

BENCHMARK: TBM RR Spike in Power Pole
Sta 452+23.00, 44.5' Rt
EI 530.53

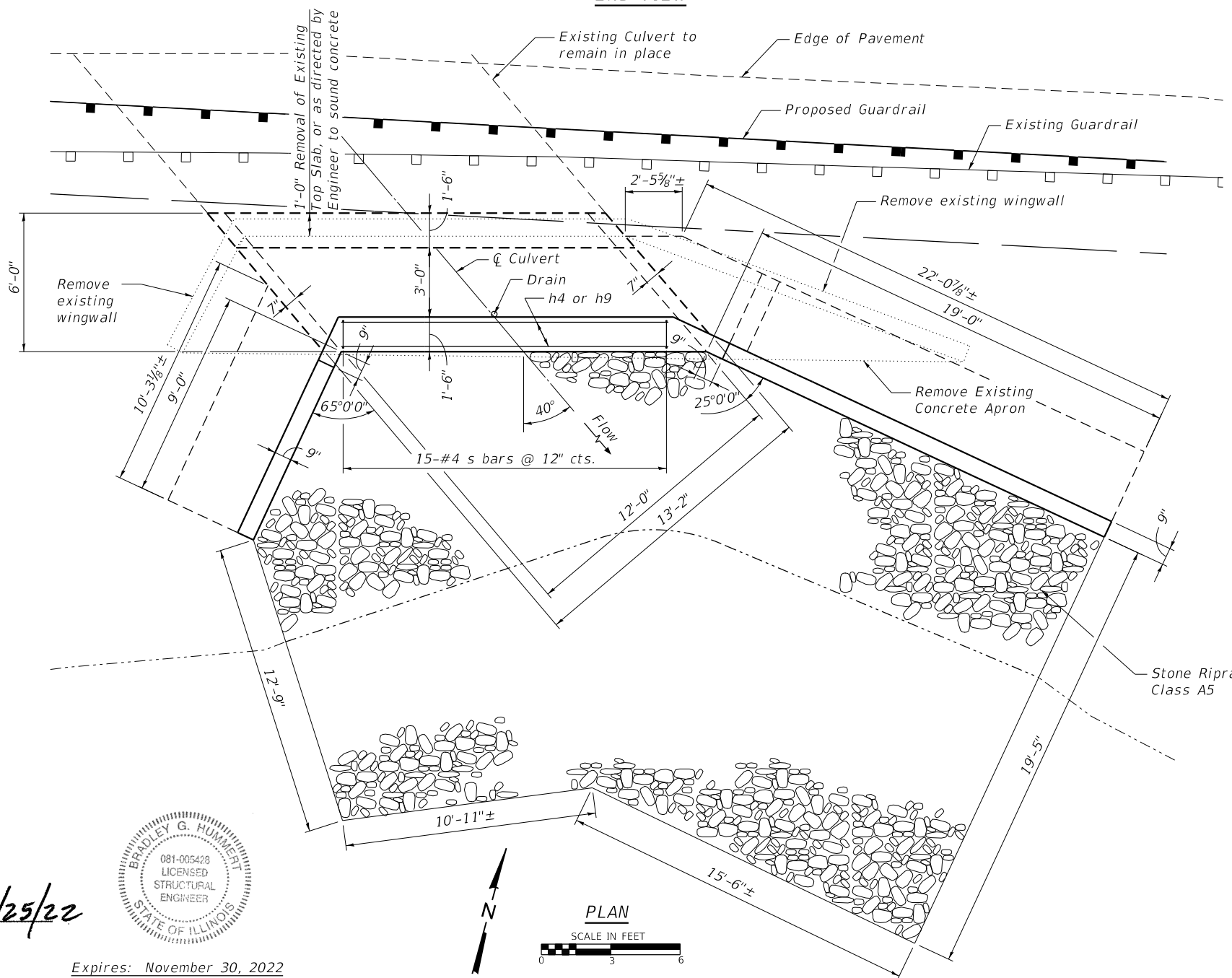


STRUCTURE LOCATION

LOCATION SKETCH



END VIEW



PLAN
SCALE IN FEET

WATERWAY INFORMATION

Drainage Area = 0.63 Sq.Mi.

Flood	Freq. Yr.	Q CFS	Headwater Elev.
Design	50	690	527.0
Base	100	800	527.9

DESIGN SPECIFICATIONS

2002 AASHTO Standard Specifications for Highway Bridges, 17th Edition

LOADING HS20-44

Allow 50 psf for future wearing surface.
Allowable soil bearing pressure = 4,000 psf

DESIGN STRESSES

CAST IN PLACE CONCRETE (NEW CONST.)

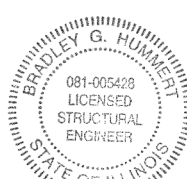
f'_c = 3,500 psi
 f_y = 60,000 psi (reinf.)

INDEX OF SHEETS

- General Plan & Elevation
- General Data
- Box Culvert Extension Details

GENERAL PLAN & ELEVATION
FAP 793 (US RTE 40) OVER
W. TRIBUTARY TO SUGAR CREEK
SECTION (R-1)RS-5
MADISON COUNTY
STATION 453+19
STRUCTURE NO. 060-2514

Bradley G. Hummert Date: 8/25/22
Bradley G. Hummert
Licensed Structural Engineer
in Illinois No. 081-005428



Expires: November 30, 2022

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DATE PLOTTED: 8/26/2022



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STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

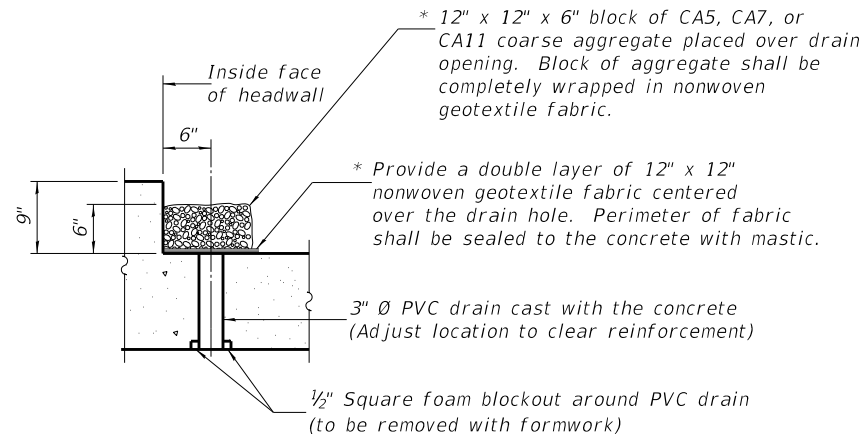
GENERAL PLAN & ELEVATION

SCALE: SHEET 1 OF 3 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	40
CONTRACT NO. 76M79				

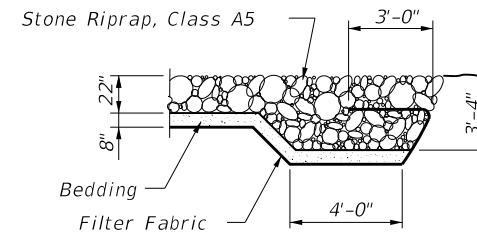
ILLINOIS FED. AID PROJECT

* Nonwoven geotextile fabric shall conform to the requirements of Article 1080.01 of the Standard Specifications. The minimum weight of the fabric shall be 6 ounces per square yard.

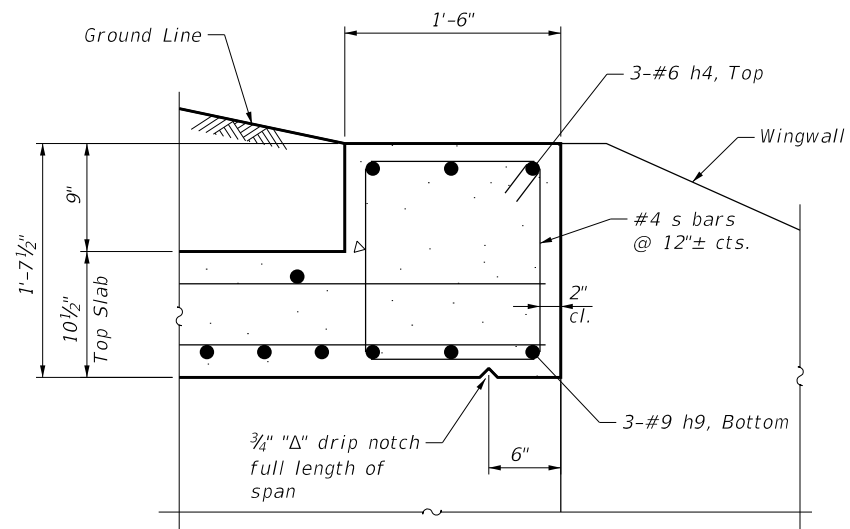


DRAIN DETAIL

(All costs associated with furnishing and constructing the above drain detail will not be measured for payment but shall be included in the contract unit price for the associated work.)



RIPRAP FLANK DETAIL



HEADWALL DETAIL

GENERAL NOTES

1. It shall be the responsibility of the Contractor to divert the stream flow during construction in order to maintain flow and keep the construction areas free of water. The method of diversion shall be subject to the approval of the Engineer and the cost shall be included in the unit bid price of "Concrete Box Culverts".
2. Optional use of precast concrete box culvert sections will not be permitted.
3. Layout of riprap may be varied in the field to suit ground conditions as directed by the Engineer.
4. Exposed edges of concrete shall have 3/4" chamfer unless otherwise noted.
5. All construction joints shall be bonded.
6. Reinforcement bars designated (E) shall be epoxy coated.
7. Plan dimensions and details relative to existing plans are subject to nominal construction variations. The Contractor shall field verify existing dimensions and details affecting new construction and make necessary approved adjustments prior to construction or ordering of materials. Such variations shall not be cause for additional compensation for a change in scope of the work, however, the Contractor will be paid for the quantity actually furnished at the unit price bid for the work.
8. The Contractor shall take necessary care and precautions to protect the roadway/shoulder structure and base from damage and undermining during excavation and construction operations. As part of the Contractor's means and methods this will not be paid for separately, but all costs shall be included in the unit price for Structure Excavation.

TOTAL BILL OF MATERIAL

ITEM	UNIT	TOTAL
Channel Excavation	Cu Yd	28
Stone Riprap, Class A5	Sq Yd	71
Filter Fabric	Sq Yd	71
Structure Excavation	Cu Yd	77
Concrete Removal	Cu Yd	9.2
Expansion Bolts 3/4 inch x 9 inch	Each	32
Concrete Box Culverts	Cu Yd	23.4
Reinforcement Bars	Pound	5,080
Reinforcement Bars, Epoxy Coated	Pound	460

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HMG
ENGINEERS
IL PROF DESIGN FIRM 184,000899

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	DATE -	REVISED -

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

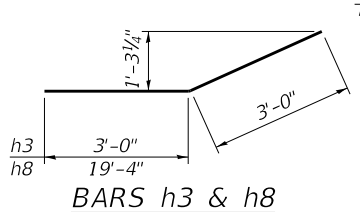
GENERAL DATA
STRUCTURE NO. 060-2514

SCALE: SHEET 2 OF 3 SHEETS STA. TO STA.

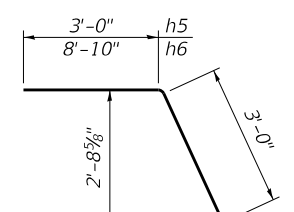
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793	(R-1)RS-5	MADISON	44	41
			CONTRACT NO. 76M79	
		ILLINOIS	FED. AID PROJECT	

Remove 1'-0" of Existing Culvert Top Slab, Headwall and Walls or as directed by Engineer to sound concrete.

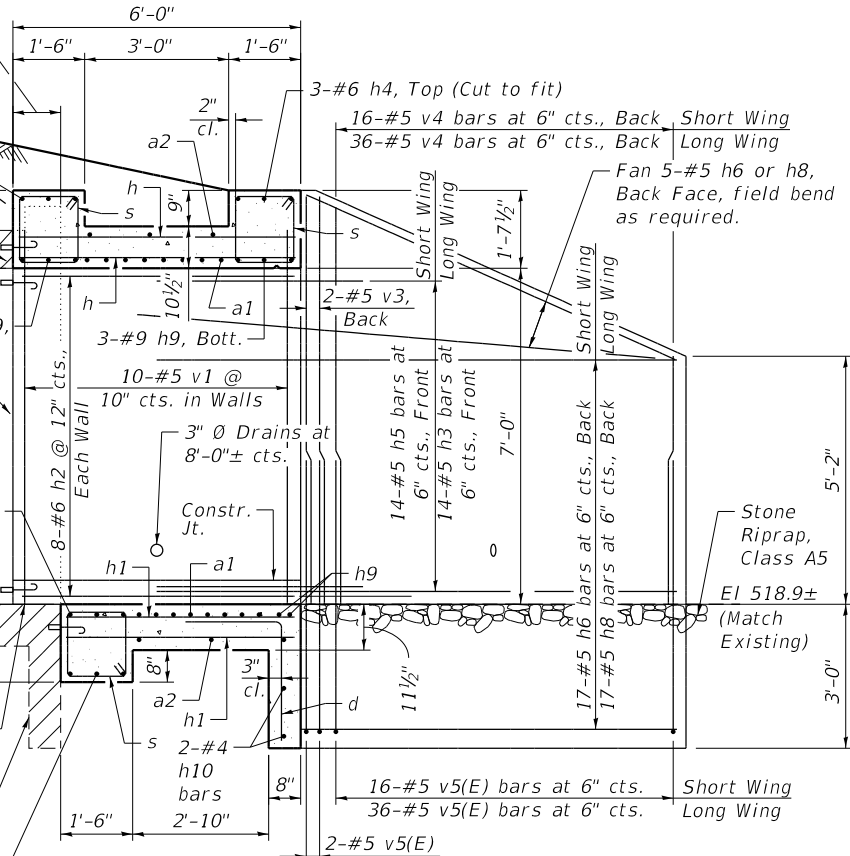
Existing longitudinal and embedded vertical reinf. to be cleaned, straightened and placed in new slab or as directed by Engineer to sound concrete.



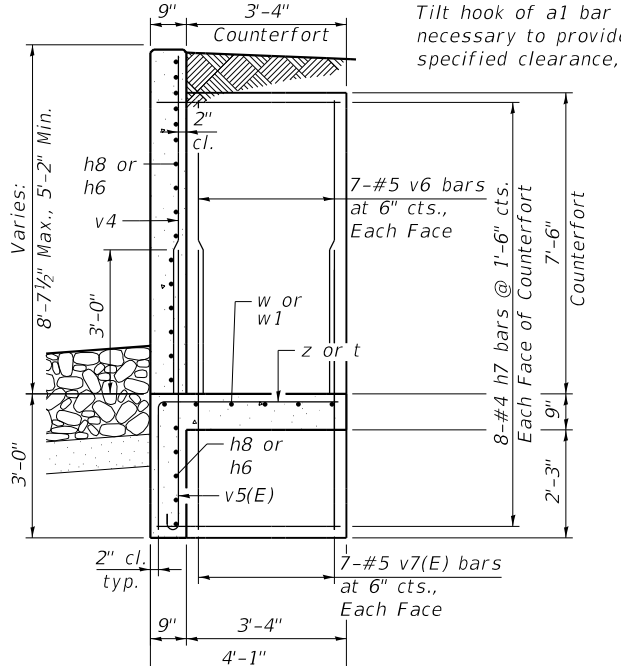
BARS h3 & h8



BARS h5 & h6

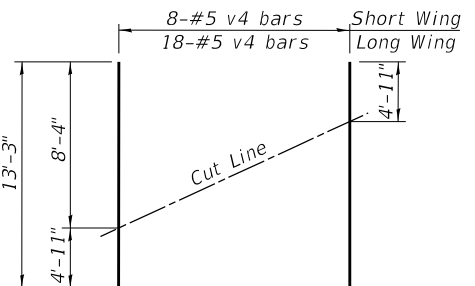


SECTION A-A
At Right Angles



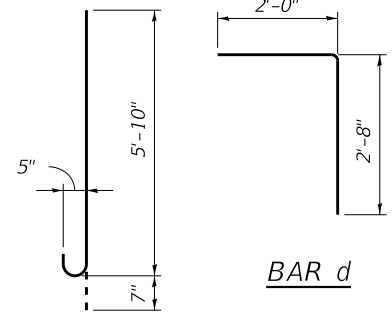
SECTION B-B

Omit Counterfort at Short Wing



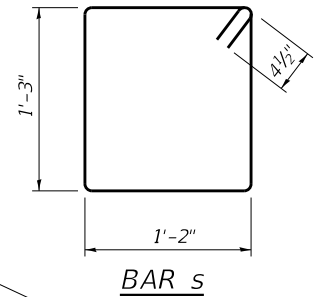
FIELD CUTTING DIAGRAM

Order v4 bars full length. Cut as shown and use remainder of bars in opposite end.



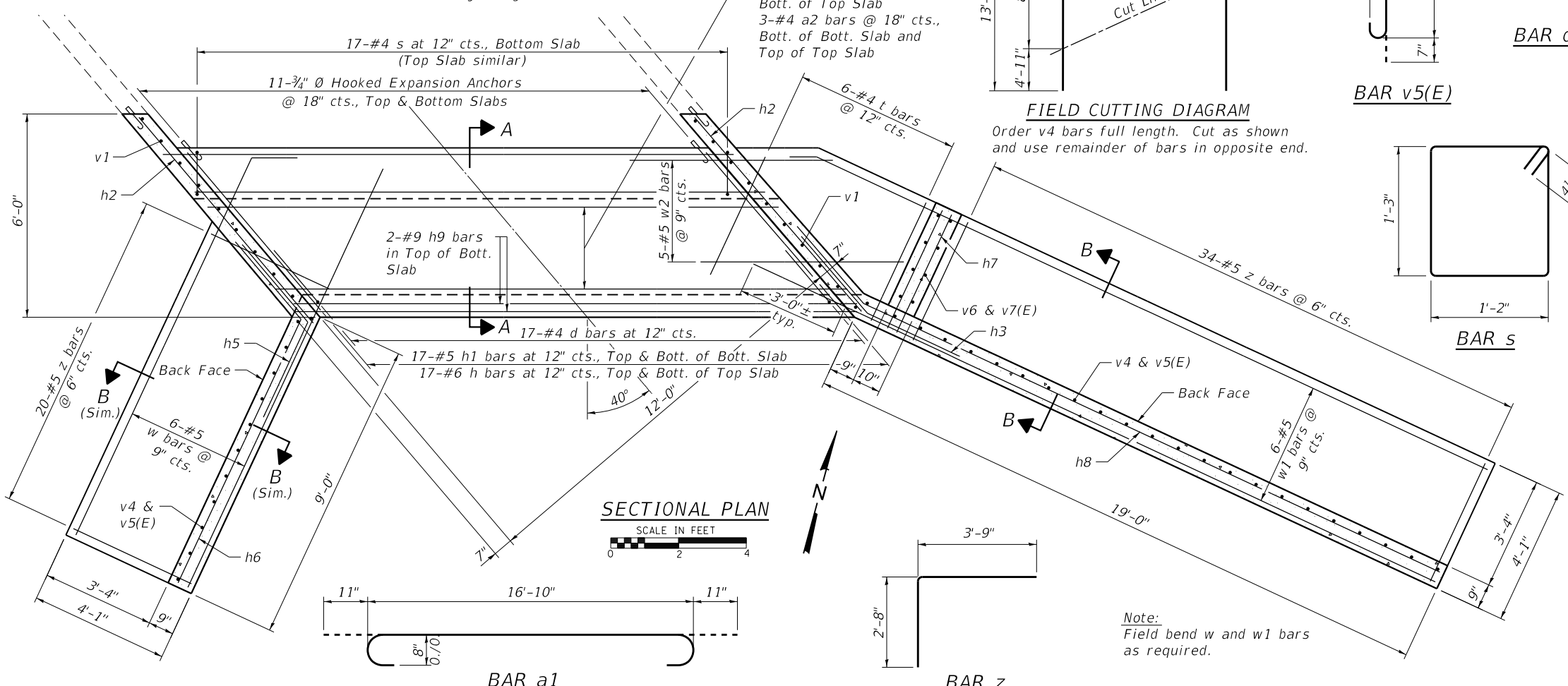
BAR d

BAR v5(E)



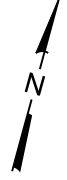
BAR s

BAR z



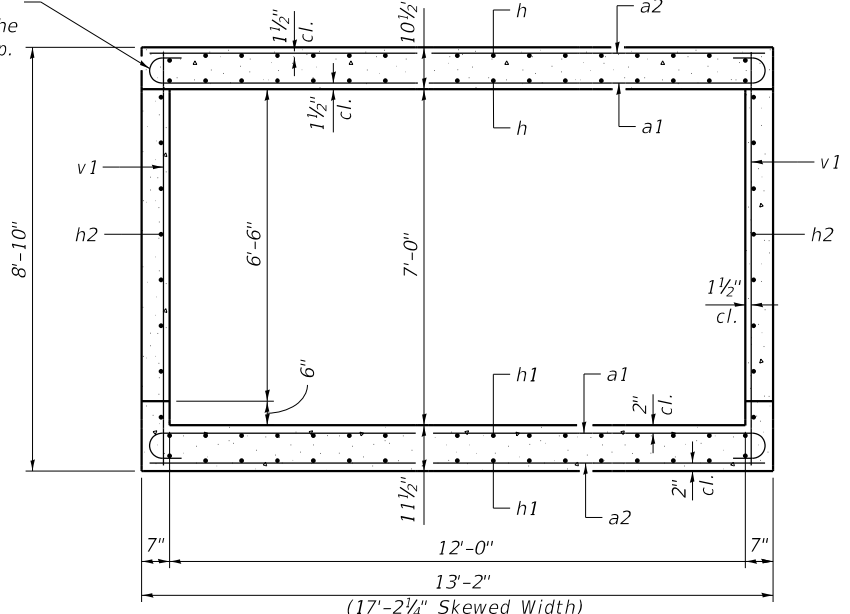
SECTIONAL PLAN

SCALE IN FEET



Note:
Field bend w and w1 bars as required.

CROSS SECTION



BILL OF MATERIAL

Bar	No.	Size	Length	Shape
a1	16	#8	18'-8"	
a2	6	#4	16'-10"	
d	17	#4	4'-8"	
h	34	#6	7'-6"	
h1	34	#5	6'-2"	
h2	16	#6	7'-8"	
h3	14	#5	6'-0"	
h4	9	#6	16'-10"	
h5	14	#5	6'-0"	
h6	22	#5	11'-10"	
h7	16	#4	3'-9"	
h8	22	#5	22'-4"	
h9	11	#9	16'-10"	
h10	2	#4	16'-10"	
s	49	#4	5'-7"	
t	6	#4	3'-9"	
v1	20	#5	8'-6"	
v3	4	#5	8'-4"	
v4	26	#5	13'-3"	
v5(E)	56	#5	6'-5"	
v6	14	#5	7'-4"	
v7(E)	14	#5	5'-11"	
w	6	#5	13'-0"	
w1	6	#5	22'-0"	
w2	5	#5	6'-0"	
z	54	#5	6'-5"	
Concrete Box Culverts			Cu Yd	23.4
Reinforcement Bars			Pound	5,080
Reinforcement Bars, Epoxy Coated			Pound	460

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 ILLINOIS DEPARTMENT OF TRANSPORTATION
 CONTRACT NO. 76M79



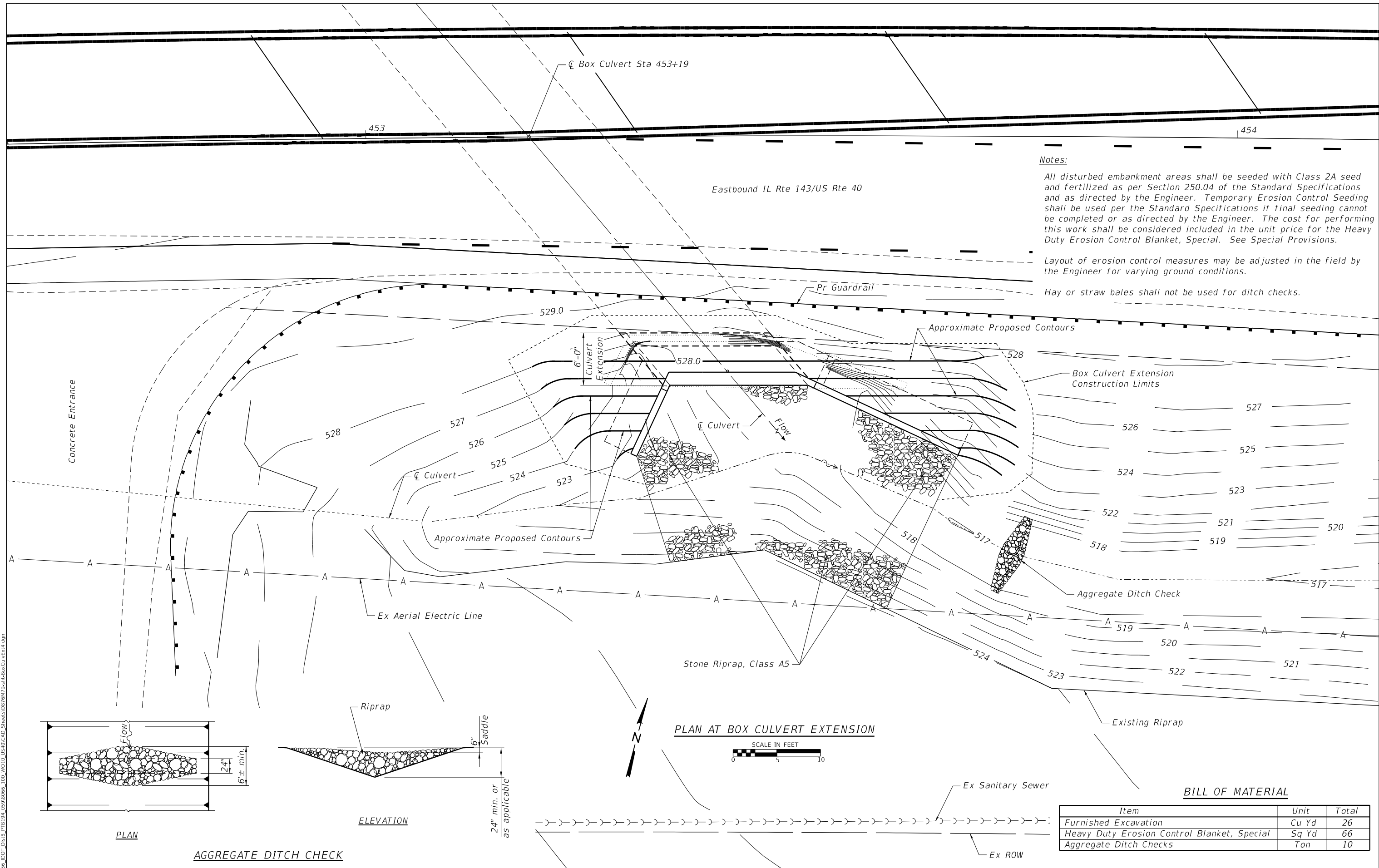
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	DATE -	REVISIONS -

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

BOX CULVERT EXTENSION DETAILS
STRUCTURE NO. 060-2514

SCALE: SHEET 3 OF 3 SHEETS STA. TO STA.

F.A.P. RTE. 793	SECTION (R-1)RS-5	COUNTY MADISON	TOTAL SHEETS 44	SHEET NO. 42
CONTRACT NO. 76M79				
ILLINOIS FED. AID PROJECT				

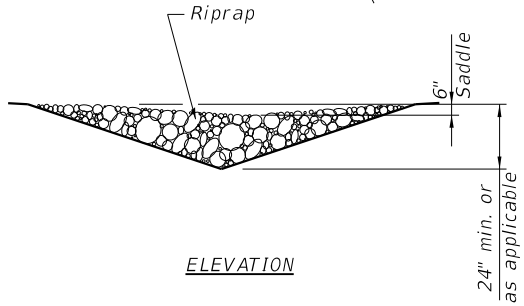
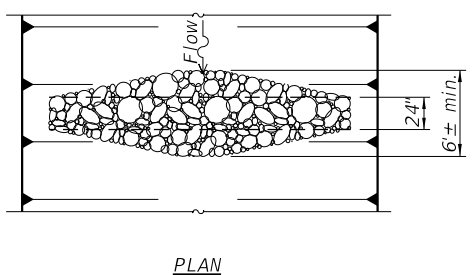


Notes:

All disturbed embankment areas shall be seeded with Class 2A seed and fertilized as per Section 250.04 of the Standard Specifications and as directed by the Engineer. Temporary Erosion Control Seeding shall be used per the Standard Specifications if final seeding cannot be completed or as directed by the Engineer. The cost for performing this work shall be considered included in the unit price for the Heavy Duty Erosion Control Blanket, Special. See Special Provisions.

Layout of erosion control measures may be adjusted in the field by the Engineer for varying ground conditions.

Hay or straw bales shall not be used for ditch checks.



AGGREGATE DITCH CHECK

PLAN AT BOX CULVERT EXTENSION



BILL OF MATERIAL

Item	Unit	Total
Furnished Excavation	Cu Yd	26
Heavy Duty Erosion Control Blanket, Special	Sq Yd	66
Aggregate Ditch Checks	Ton	10

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ENGINEERS
IL PROF DESIGN FIRM 184,000899

USER NAME = kschwierjohn	DESIGNED -	REVISD -
PLOT SCALE = 0.1667' / in.	DRAWN -	REVISD -
PLOT DATE = 8/26/2022	CHECKED -	REVISD -
	DATE -	REVISD -

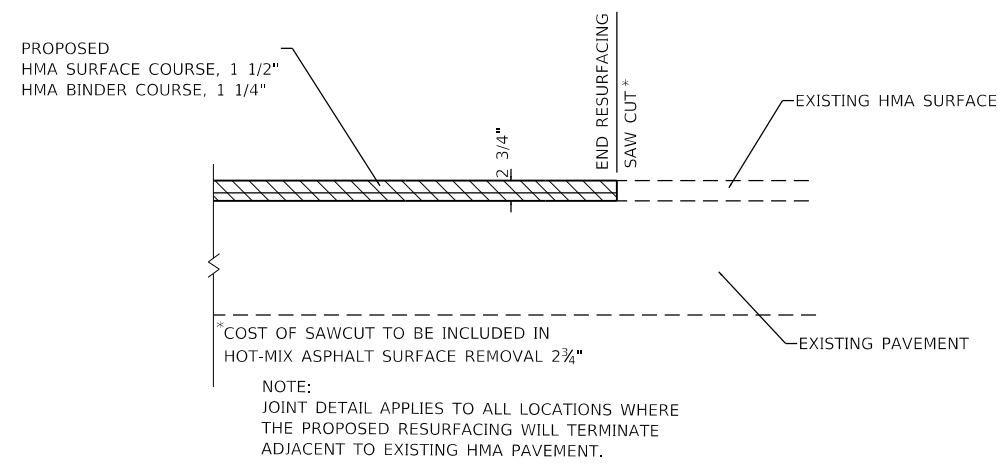
STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

GRADING AND EROSION CONTROL PLAN
STRUCTURE NO. 060-2514

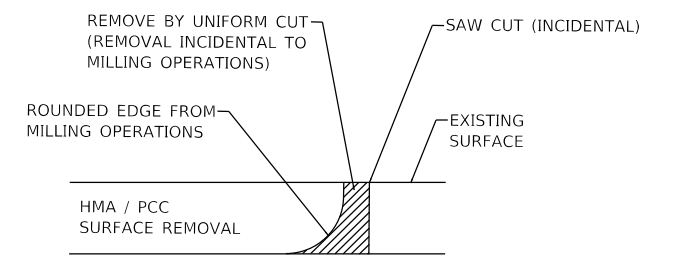
SCALE: SHEET 1 OF 1 SHEETS STA. TO STA.

F.A.P. RTE. 793	SECTION (R-1)RS-5	COUNTY MADISON	TOTAL SHEETS 44	SHEET NO. 43
			CONTRACT NO. 76M79	
ILLINOIS FED. AID PROJECT				

MODEL: D:\hmf\1
 FILE NAME: 1033066_100_W\010_US10\ICAD_Sheets\0776M79-shc-dtbl.dgn



BUTT JOINT DETAIL
ELEVATION VIEW



NOTE:
WHEN MILLING OPERATIONS PRODUCE A ROUNDED EDGE,
THEN A SAW CUT SHALL BE USED TO MANUFACTURE
A PERPENDICULAR EDGE AS SHOWN IN THE DETAIL.
THE ENGINEER SHALL BE THE SOLE JUDGE
CONCERNING THE USE OF THIS DETAIL.

BUTT JOINT DETAIL



USER NAME = kschwierjohn	DESIGNED -	REVISED -
	DRAWN -	REVISED -
PLOT SCALE = 100,0000 ' / in.	CHECKED -	REVISED -
PLOT DATE = 8/26/2022	DATE -	REVISED -

**STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION**

MISCELLANEOUS CONSTRUCTION DETAILS

SCALE: SHEET 1 OF 1 SHEETS STA. TO STA.

F.A.P. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
793	(R-1)RS-5	MADISON	44	44
CONTRACT NO. 76M79				
		ILLINOIS	FED. AID PROJECT	

BDE SPECIAL PROVISIONS
For the November 18, 2022 Letting

The following special provisions indicated by a “check mark” are applicable to this contract and will be included by the Project Coordination and Implementation Section of the BD&E. An * indicates a new or revised special provision for the letting.

File Name	#		Special Provision Title	Effective	Revised
80099	1	<input checked="" type="checkbox"/>	Accessible Pedestrian Signals (APS)	April 1, 2003	Jan. 1, 2022
80274	2	<input type="checkbox"/>	Aggregate Subgrade Improvement	April 1, 2012	April 1, 2022
80192	3	<input checked="" type="checkbox"/>	Automated Flagger Assistance Device	Jan. 1, 2008	
80173	4	<input checked="" type="checkbox"/>	Bituminous Materials Cost Adjustments	Nov. 2, 2006	Aug. 1, 2017
80426	5	<input type="checkbox"/>	Bituminous Surface Treatment with Fog Seal	Jan. 1, 2020	Jan. 1, 2022
80436	6	<input checked="" type="checkbox"/>	Blended Finely Divided Minerals	April 1, 2021	
80241	7	<input type="checkbox"/>	Bridge Demolition Debris	July 1, 2009	
50531	8	<input type="checkbox"/>	Building Removal	Sept. 1, 1990	Aug. 1, 2022
50261	9	<input type="checkbox"/>	Building Removal with Asbestos Abatement	Sept. 1, 1990	Aug. 1, 2022
80384	10	<input checked="" type="checkbox"/>	Compensable Delay Costs	June 2, 2017	April 1, 2019
80198	11	<input type="checkbox"/>	Completion Date (via calendar days)	April 1, 2008	
80199	12	<input type="checkbox"/>	Completion Date (via calendar days) Plus Working Days	April 1, 2008	
80293	13	<input type="checkbox"/>	Concrete Box Culverts with Skews > 30 Degrees and Design Fills ≤ 5 Feet	April 1, 2012	July 1, 2016
80311	14	<input type="checkbox"/>	Concrete End Sections for Pipe Culverts	Jan. 1, 2013	April 1, 2016
80261	15	<input checked="" type="checkbox"/>	Construction Air Quality – Diesel Retrofit	June 1, 2010	Nov. 1, 2014
80434	16	<input type="checkbox"/>	Corrugated Plastic Pipe (Culvert and Storm Sewer)	Jan. 1, 2021	
80029	17	<input checked="" type="checkbox"/>	Disadvantaged Business Enterprise Participation	Sept. 1, 2000	March 2, 2019
80229	18	<input checked="" type="checkbox"/>	Fuel Cost Adjustment	April 1, 2009	Aug. 1, 2017
80433	19	<input type="checkbox"/>	Green Preformed Thermoplastic Pavement Markings	Jan. 1, 2021	Jan. 1, 2022
80422	20	<input type="checkbox"/>	High Tension Cable Median Barrier	Jan. 1, 2020	Jan. 1, 2022
80443	21	<input type="checkbox"/>	High Tension Cable Median Barrier Removal	April 1, 2022	
80442	22	<input checked="" type="checkbox"/>	Hot-Mix Asphalt	Jan. 1, 2022	Aug. 1, 2022
*	80446	<input checked="" type="checkbox"/>	Hot-Mix Asphalt - Longitudinal Joint Sealant	Nov. 1, 2022	
	80444	<input checked="" type="checkbox"/>	Hot-Mix Asphalt - Patching	April 1, 2022	
	80438	<input type="checkbox"/>	Illinois Works Apprenticeship Initiative – State Funded Contracts	June 2, 2021	Sept. 2, 2021
	80411	<input type="checkbox"/>	Luminaires, LED	April 1, 2019	Jan. 1, 2022
	80045	<input checked="" type="checkbox"/>	Material Transfer Device	June 15, 1999	Jan. 1, 2022
	80418	<input type="checkbox"/>	Mechanically Stabilized Earth Retaining Walls	Nov. 1, 2019	Nov. 1, 2020
	80430	<input checked="" type="checkbox"/>	Portland Cement Concrete – Haul Time	July 1, 2020	
	34261	<input checked="" type="checkbox"/>	Railroad Protective Liability Insurance	Dec. 1, 1986	Jan. 1, 2022
*	80445	<input type="checkbox"/>	Seeding	Nov. 1, 2022	
	80395	<input type="checkbox"/>	Sloped Metal End Section for Pipe Culverts	Jan. 1, 2018	
	80340	<input type="checkbox"/>	Speed Display Trailer	April 2, 2014	Jan. 1, 2022
	80127	<input checked="" type="checkbox"/>	Steel Cost Adjustment	April 2, 2004	Jan. 1, 2022
	80397	<input checked="" type="checkbox"/>	Subcontractor and DBE Payment Reporting	April 2, 2018	
	80391	<input checked="" type="checkbox"/>	Subcontractor Mobilization Payments	Nov. 2, 2017	April 1, 2019
*	80437	<input type="checkbox"/>	Submission of Payroll Records	April 1, 2021	Nov. 1, 2022
	80435	<input checked="" type="checkbox"/>	Surface Testing of Pavements – IRI	Jan. 1, 2021	Jan. 1, 2022
	80410	<input type="checkbox"/>	Traffic Spotters	Jan. 1, 2019	
	20338	<input type="checkbox"/>	Training Special Provisions	Oct. 15, 1975	Sept. 2, 2021
	80318	<input type="checkbox"/>	Traversable Pipe Grate for Concrete End Sections	Jan. 1, 2013	Jan. 1, 2018
	80429	<input type="checkbox"/>	Ultra-Thin Bonded Wearing Course	April 1, 2020	Jan. 1, 2022
*	80439	<input type="checkbox"/>	Vehicle and Equipment Warning Lights	Nov. 1, 2021	Nov. 1, 2022
	80440	<input type="checkbox"/>	Waterproofing Membrane System	Nov. 1, 2021	
	80302	<input checked="" type="checkbox"/>	Weekly DBE Trucking Reports	June 2, 2012	Nov. 1, 2021
	80427	<input checked="" type="checkbox"/>	Work Zone Traffic Control Devices	Mar. 2, 2020	
	80071	<input checked="" type="checkbox"/>	Working Days 45	Jan. 1, 2002	

The following special provisions have been deleted from use.

File Name	Special Provision Title	Effective	Revised
50481	Building Removal-Case II (Non-Friable Asbestos)	Sept. 1, 1990	April 1, 2010
50491	Building Removal-Case III (Friable Asbestos)	Sept. 1, 1990	April 1, 2010

The following special provisions are in the 2022 Standard Specifications and Recurring Special Provisions.

<u>File Name</u>	<u>Special Provision Title</u>	<u>New Location(s)</u>	<u>Effective</u>	<u>Revised</u>
80425	Cape Seal	Sections 405, 1003	Jan. 1, 2020	Jan. 1, 2021
80387	Contrast Preformed Plastic Pavement Marking	Articles 780.08, 1095.03	Nov. 1, 2017	
80402	Disposal Fees	Article 109.04(b)	Nov. 1, 2018	
80378	Dowel Bar Inserter	Articles 420.03, 420.05, 1103.20	Jan. 1, 2017	Jan. 1, 2018
80421	Electric Service Installation	Articles 804.04, 804.05	Jan. 1, 2020	
80415	Emulsified Asphalts	Article 1032.06	Aug. 1, 2019	
80423	Engineer's Field Office and Laboratory	Section 670	Jan. 1, 2020	
80417	Geotechnical Fabric for Pipe Underdrains and French Drains	Articles 1080.01(a), 1080.05	Nov. 1, 2019	
80420	Geotextile Retaining Walls	Article 1080.06(d)	Nov. 1, 2019	
80304	Grooving for Recessed Pavement Markings	Articles 780.05, 780.14, 780.15	Nov. 1, 2012	Nov. 1, 2020
80416	Hot-Mix Asphalt – Binder and Surface Course	Sections 406, 1003, 1004, 1030, 1101	July 2, 2019	Nov. 1, 2019
80398	Hot-Mix Asphalt – Longitudinal Joint Sealant	Sections 406, 1032	Aug. 1, 2018	Nov. 1, 2019
80406	Hot-Mix Asphalt – Mixture Design Verification and Production (Modified for I-FIT)	Sections 406, 1030	Jan. 1, 2019	Jan. 2, 2021
80347	Hot-Mix Asphalt – Pay for Performance Using Percent Within Limits – Jobsite Sampling	Sections 406, 1030	Nov. 1, 2014	July 2, 2019
80383	Hot-Mix Asphalt – Quality Control for Performance	Sections 406, 1030	April 1, 2017	July 2, 2019
80393	Manholes, Valve Vaults, and Flat Slab Tops	Articles 602.02, 1042.10	Jan. 1, 2018	Mar. 1, 2019
80424	Micro-Surfacing and Slurry Sealing	Sections 404, 1003	Jan. 1, 2020	Jan. 1, 2021
80428	Mobilization	Article 671.02	April 1, 2020	
80412	Obstruction Warning Luminaires, LED	Sections 801, 822, 1067	Aug. 1, 2019	
80359	Portland Cement Concrete Bridge Deck Curing	Articles 1020.13, 1022.03	April 1, 2015	Nov. 1, 2019
80431	Portland Cement Concrete Pavement Patching	Articles 701.17(e)(3)b, 1001.01(d), 1020.05(b)(5)	July 1, 2020	
80432	Portland Cement Concrete Pavement Placement	Article 420.07	July 1, 2020	
80300	Preformed Plastic Pavement Marking Type D - Inlaid	Articles 780.08, 1095.03	April 1, 2012	April 1, 2016
80157	Railroad Protective Liability Insurance (5 and 10)	Article 107.11	Jan. 1, 2006	
80306	Reclaimed Asphalt Pavement (RAP) and Reclaimed Asphalt Shingles (RAS)	Section 1031	Nov. 1, 2012	Jan. 2, 2021
80407	Removal and Disposal of Regulated Substances	Section 669	Jan. 1 2019	Jan. 1, 2020
80419	Silt Fence, Inlet Filters, Ground Stabilization and Riprap Filter Fabric	Articles 280.02, 280.04, 1080.02, 1080.03, 1081.15	Nov. 1, 2019	July 1, 2021
80408	Steel Plate Beam Guardrail Manufacturing	Article 1006.25	Jan. 1, 2019	
80413	Structural Timber	Article 1007.03	Aug. 1, 2019	
80298	Temporary Pavement Marking	Section 703, Article 1095.06	April 1, 2012	April 1, 2017
80409	Traffic Control Devices – Cones	Article 701.15(a), 1106.02(b)	Jan. 1, 2019	
80288	Warm Mix Asphalt	Sections 406, 1030, 1102	Jan. 1, 2012	April 1, 2016
80414	Wood Fence Sight Screen	Article 641.02	Aug. 1, 2019	April 1, 2020

The following special provisions require additional information from the designer. The additional information needs to be submitted as a separate document. The Project Coordination and Implementation section will then include the information in the applicable special provision.

- Bridge Demolition Debris
- Building Removal
- Building Removal with Asbestos Abatement
- Completion Date
- Completion Date Plus Working Days
- DBE Participation
- Railroad Protective Liability Insurance
- Training Special Provisions
- Working Days



Estimate of Time Required

Route FAP 379 (US 40 / IL 143)
 Section (R-1)RS-5
 County Madison
 Project _____

Item	Unit (Check One)	Quantity	Rate Per Day	Days	Days Not Affecting Time	Total Days Required
	<input checked="" type="checkbox"/> English <input type="checkbox"/> Metric					
Box Culvert Extension	Each	1	0.07	14.00	4.00	10.00
ADA Sidewalk & Island Removal	Sq Ft	557	200	3.00	2.00	1.00
ADA Sidewalk & Island Replacement	Sq Ft	608	100	6.00	4.00	2.00
ADA Signal Improvements	Each	1	0.20	5.00	3.00	2.00
HMA Surface Removal	Sq Yd	127,776	25,000	5.00	3.00	2.00
HMA Binder Course	Ton	7,183	2,750	3.00	1.00	2.00
HMA Surface Course	Ton	8,994	2,750	3.00		3.00
Pavement Marking	Foot	107,063	40,000	3.00		3.00
RRPM	Each	729	200	4.00	2.00	2.00
AGG Wedge Shoulders	Ton	1,770	800	2.00		2.00
Guardrail Removal	Foot	1,449	400	4.00	2.00	2.00
Guardrail TBT Replacement	Foot	1,679	400	4.00	1.00	3.00
Detector Loop Replacement	Foot	5,289	400	13.00	3.00	10.00
Mobilization	L Sum	1.00	1.00	1.00		1.00
Clean Up	L Sum	1.00	1.00	1.00		1.00
Total Actual Working Days Required						45.00
Total Days from page one						
Total Days						45.00

Made by EMV @ HMG Date 8/25/2022 Checked by KJS @ HMG Date 8/25/2022
 _____ Regional Engineer

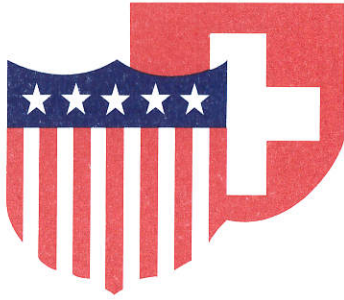
STATE OF ILLINOIS)
) SS
COUNTY OF MADISON)

I, Barbara Bellm, City Clerk, in and for the City of Highland, of the State of Illinois hereby certify that Kevin Hemann, the Mayor of the City of Highland, was duly authorized to execute the foregoing Letter of Understanding on behalf of the City of Highland pursuant to a resolution adopted by the City Council at a meeting on _____ A.D., 2022.

IN TESTIMONY WHEREOF, I have hereunto set my hand and seal this _____ day of _____ A.D., 2022.

City Clerk

S E A L



City of Highland

MEMO TO: Christopher Conrad, City Manager
FROM: Joe Gillespie, Director of Public Works
DATE: October 5, 2022
SUBJECT: IDOT project: Resurfacing U.S. Hwy. 40 from Walnut to IL Rte. 4
Recommendation for Approval of Letter of Understanding

RECOMMENDATION

I recommend that you request council approval to approve a letter of understanding for the resurfacing project that the state of Illinois Department of Transportation is proposing as attached.

DISCUSSION

IDOT is proposing to resurface the pavement of U.S. Highway 40 beginning at the intersection of Walnut and continuing westerly to Illinois Route 4. The department of transportation submitted a letter of understanding for our review and approval. The letter explains the project construction and outlines the maintenance responsibilities of the city and the state. I do not see anything out of the ordinary in this document and recommend that you accept it.

The letting date is November 18 and I would anticipate the asphalt work next spring.

FISCAL IMPACT


This work does not affect our budget.

CONCURRENCE

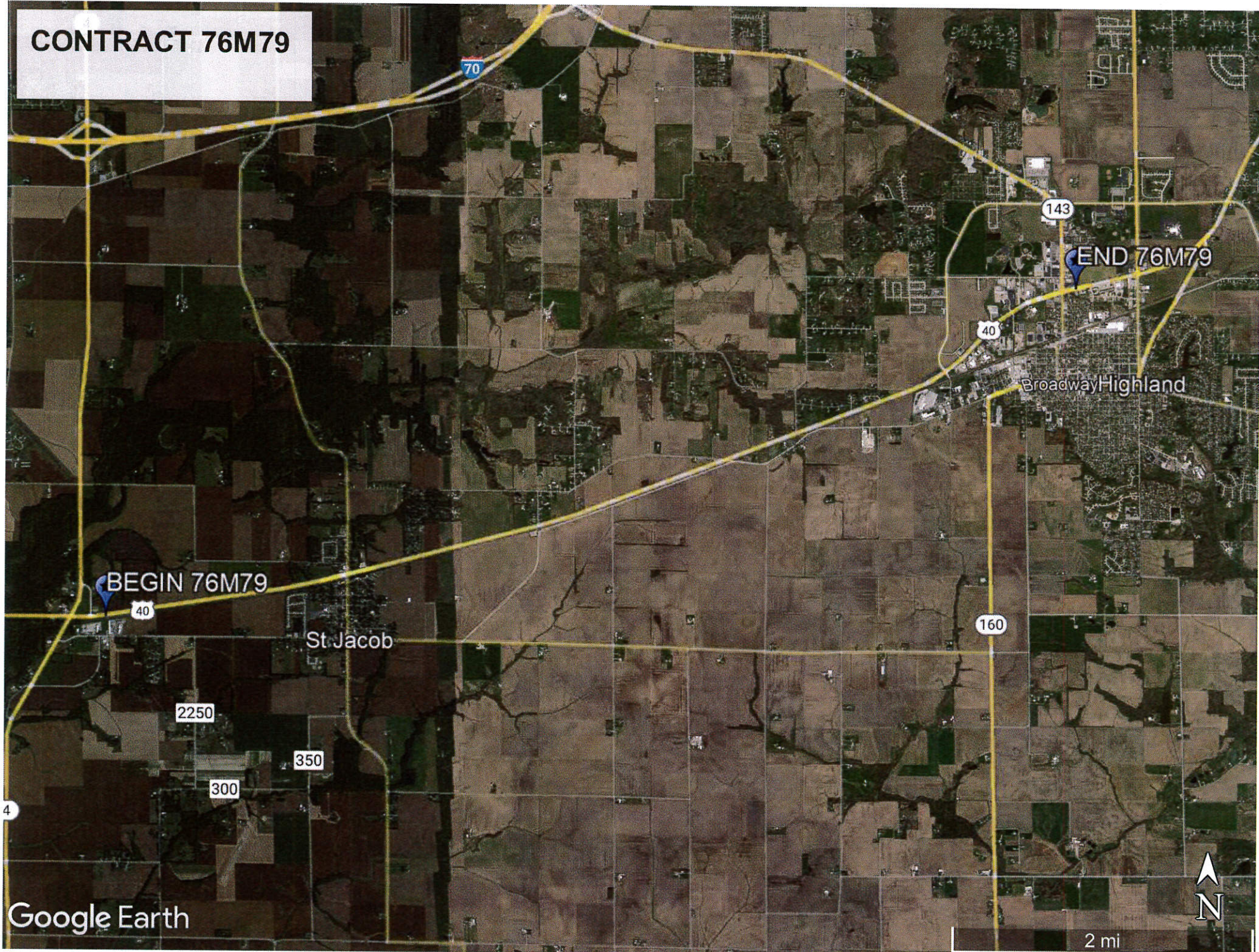
Recommended by: _____


Joe Gillespie, Director of Public Works

Approved by: _____


Christopher Conrad, City Manager

CONTRACT 76M79



2 mi



ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 78, ARTICLE VII, SECTION 78-732, OF THE CODE OF ORDINANCES, CITY OF HIGHLAND, ILLINOIS, ENTITLED SCHEDULE OF FTTP RATES AND CHARGES, CREATING NEW FEES AND SERVICES

WHEREAS, the City of Highland, Madison County, Illinois (hereinafter “City”), is a non-home rule municipality duly established, existing and operating in accordance with the provisions of the Illinois Municipal Code (Section 5/1-1-1 et seq. of Chapter 65 of the Illinois Compiled Statutes); and

WHEREAS, City Council has previously adopted multiple ordinances regarding the provision of internet, video, and telephone services and rates for said services by City of Highland d/b/a Highland Communication Services (hereinafter “HCS”); and

WHEREAS, City Council has, from time to time, determined the services to be provided and the rates to be charged by HCS need to be adjusted for shifting market trends and increasing demand for new products and services; and

WHEREAS, the Director of HCS and Technology and Innovation has informed the City Council that changes are needed to prices charged for existing data and internet services, and new data and internet services and speeds need to be offered to HCS customers; and

WHEREAS, the Director of HCS and Technology and Innovation has recommended the following changes to pricing and services offered to HCS customers:

Commercial			Residential		
Speed	Current	New	Speed	Current	New
20	\$ 34.95	\$ 27.95	20	\$ 24.95	\$ 24.95
40	\$ 49.95	\$ 39.95	40	\$ 29.95	\$ 29.95

60	\$ 64.95	\$ 51.95	60	\$ 39.95	\$ 39.95
80	\$ 94.95	\$ 75.95	80	NA	NA
100	\$ 144.95	\$ 101.95	100	\$ 50.95	\$ 45.95
200	\$ 174.95	\$ 122.95	200	\$ 64.95	\$ 60.95
500	NA	\$ 155.95	500	NA	\$ 70.95
Gig	\$ 214.95	\$ 171.95	Gig	\$94.94	\$ 84.95
2.5 G*	NA	\$ 204.95	2.5 G*	NA	\$ 110.95

*Please note: 2.5 gb/s may not be available everywhere.

and

WHEREAS, City Council believes it is necessary and in the best interest of the City to make changes to prices charged and services offered by HCS as reflected herein; and

WHEREAS, City Council has determined the City Manager and/or Mayor should be authorized and directed to execute whatever documents are required to make changes to prices charged and services offered by HCS as reflected herein.

NOW, THEREFORE, BE IT ORDAINED, by the City Council of the City of Highland as follows:

Section 1. The foregoing recitals are incorporated herein as findings of the City Council of the City of Highland, Illinois.

Section 2. City has determined Chapter 78, Article VII, Section 78-732, Schedule of FTTP Rates and Charges, shall be amended to include the following:

(b) Services by broadband internet component of FTTP system (Highland Communication Services).

(1) Services to commercial and residential customers by the broadband internet component of FTTP system (Highland Communication Services).

The monthly (unless otherwise indicated) rates and charges for the services to be delivered to commercial and residential customers by the broadband internet component shall be as follows:

Commercial

Small Business Internet Data	
Essential (Up to 20M Upload/20M Download)	\$27.95
Basic (Up to 40M Upload/40M Download)	\$39.95
Classic (Up to 60M Upload/60M Download)	\$51.95
Premier (Up to 80M Upload/80M Download)	\$75.95
Ultimate (Up to 100M Upload/100M Download)	\$101.95
200 mb (Up to 200M Upload/200M Download)	\$122.95
500 mb (Up to 500M Upload/500M Download)	\$155.95
1 gig (Up to 1000M Upload/1000M Download)	\$171.95
2.5 gig (Please note: 2.5 gb/s may not be available everywhere)	\$204.95

Residential

Essential (Up to 20M upload/20M download)	\$24.95
Basic (Up to 40M upload/40M download)	\$29.95
Classic (Up to 60M upload/60M download)	\$39.95
Premier (Up to 80M upload/80M download)	N/A
Ultimate (Up to 100M upload/100M download)	\$45.95
200 mb (Up to 200M upload/200M download)	\$60.95
500 mb (Up to 500M upload/500M download)	\$70.95
1 gig (Up to 1000M upload/1000M download)	\$84.95
2.5 gig (Please note: 2.5 gb/s may not be available everywhere)	\$5.00

Section 3. This ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as provided by law.

Passed by the City Council of the City of Highland, Illinois, and deposited and filed in the Office of the City Clerk, on the _____ day of _____, 2022, the vote being taken by ayes and noes, and entered upon the legislative records, as follows:

AYES:

NOES:

APPROVED:

Kevin B. Hemann
Mayor
City of Highland
Madison County, Illinois

ATTEST:

Barbara Bellm
City Clerk
City of Highland
Madison County, Illinois

RESOLUTION NO: _____

**A RESOLUTION ACCEPTING CIGNA HEALTHCARE FOR MEDICAL INSURANCE
AND METLIFE FOR VISION AND DENTAL INSURANCE FOR 2022-2023**

WHEREAS, the City of Highland, Madison County, Illinois (hereinafter “City”), is a non-home rule municipality duly established, existing and operating in accordance with the provisions of the Illinois Municipal Code (Section 5/1-1-1 et seq. of Chapter 65 of the Illinois Compiled Statutes); and

WHEREAS, Over the past three years, City’s prescription drug costs for City employees on the City health insurance grew by 160%; and

WHEREAS, as a result of the 160% increase in prescription drug costs, in addition to global inflationary pressures on costs, City’s health insurance was negotiated down to an increase of 19.4% for the next year; and

WHEREAS, in addition, the health savings account (“HSA”) deductible will increase from \$3000 to \$4000 for an individual, and \$6000 to \$8000 for a family; and

WHEREAS, in an effort to offset the increase in the HSA deductible, City proposes to continue contributing to HSA accounts with a set amount monthly of \$50 for an employee, \$75 for Employee/Children and Employee/Spouse, and \$100 for a family; and

WHEREAS, for 2022 – 2023, City shall provide health insurance, dental insurance and vision insurance to City employees as follows:

1. Health Insurance – Cigna Healthcare;

2. Dental Insurance – MetLife;
3. Vision Insurance – MetLife;

and

WHEREAS, the City Council finds that the City Manager and/or Mayor should be authorized and directed, on behalf of the City, to execute whatever documents are necessary to provide health insurance, dental insurance and vision insurance to City employees as stated herein.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Highland, Illinois, as follows:

Section 1. The foregoing recitals are incorporated herein as findings of the City Council of the City of Highland, Illinois.

Section 2. The City shall offer insurance to City employees for 2022 – 2023 as follows:

Medical Insurance – Cigna Healthcare:

Base Plan:

Employee Only: \$814.91
Employee +Spouse: \$1711.29
Employee + Child(ren): 1548.33
Family: \$2444.73

Buy Up Plan:

Employee: 860.54
Employee +Spouse: \$1807.18
Employee + Child(ren):\$1635.06
Family: \$2581.75

HSA:

Employee Only: \$716.45
Employee +Spouse: \$1504.58
Employee + Child(ren):\$1361.28
Family: \$2149.40

Dental Insurance – MetLife: No change to premiums or the plan from prior year.

Voluntary Vision Insurance – MetLife: No change to the premiums or the plan from prior year.

Section 3. That this Resolution shall be known as Resolution No: _____ and shall be effective upon adoption with implementation date of _____.

Passed by the City Council of the City of Highland, Illinois, and deposited and filed in the Office of the City Clerk, on the ____ day of _____, 2022, the vote being taken by ayes and noes, and entered upon the legislative records, as follows:

AYES:

NOES:

APPROVED:

Kevin B. Hemann
Mayor
City of Highland
Madison County, Illinois

ATTEST:

Barbara Bellm
City Clerk
City of Highland
Madison County, Illinois

CITY OF HIGHLAND
Request for Proposal
November 2022 Benefits Plan Brokerage and Consulting Services
May 2022

I. PURPOSE

A. The City of Highland incorporated in 1884 and operates under the City Council-City Manager form of government. The City has approximately 126 benefit eligible employees and currently 15 retirees, 1 disability, and no active COBRA participants. The City offers the following benefit options to active benefit eligible employees and all plans renew with an effective date of November 1:

- Cigna Partially Self Funded Base Plan (PPO)
- Cigna Partially Self Funded Buy Up Plan (PPO)
- Cigna Partially Self Funded HSA Open Access Plus
- MetLife Dental Insurance
- MetLife VSP Vision Insurance
- MetLife Life Insurance
- MetLife Voluntary Life Insurance
- AFLAC (Voluntary Program)

Retirees can elect to continue medical and dental coverage until attaining age 65.

We are offering an opportunity for your company to provide a proposal for all benefits brokerage and consulting services you would provide the City of Highland ("City"). The City is seeking a Broker to perform the full range of services related to the design, implementation, maintenance, communication and improvement of the City's group health, dental and life programs.

Your proposal should cover all services to be provided and your fee structure in specific terms for the provision of services. If fees are commission based, please provide the commission percent of premium (or premium equivalent on self funded plans) for each benefit brokered through your company. If a flat fee, include the basis for flat fee calculations. If some other fee structure is provided, please include details on all terms, conditions, and calculations used to determine the fee. For all other consulting services please provide the fee basis and amount of fee per unit of service provided. Please be as detailed as possible when describing your services. Services not described will be considered excluded, not offered, or an add-on fee/cost above the basic program described.

II. INSTRUCTIONS TO PROPOSERS

A. All proposals must be submitted to:

Jackie Heimbürger, Director of Support Services
City of Highland
jheimburger@highlandil.gov

Reanna Ohren, Director of Finance
City of Highland
rohren@highlandil.gov

B. Questions or comments regarding this proposal shall be directed to Jackie or Reanna Ohren at the above address. Informal questions or clarifications may be discussed by calling Jackie or Reanna at 618-654-9891.

C. All proposals must be received by 3:00 P.M. June 7, 2022 electronically to jheimburger@highlandil.gov. Proposals made after that time will not be considered. No proposals or modifications to proposals may be made by telephone or fax. A proposal may be withdrawn and resubmitted if done prior to the above deadline. Such request for withdrawal shall be in writing.

III. BROKER LOCATION

The City of Highland is soliciting proposals from brokers with offices in the City of Highland or in the St. Louis Metropolitan Area.

IV. MINIMUM QUALIFICATIONS

Proposals will be accepted from local brokers with these minimum qualifications:

- A. Licensed as an insurance broker or agent in the State of Illinois or State of Missouri, with at least 5 years of experience in providing services as outlined in this RFP.
- B. Errors and omissions insurance with a minimum limit of \$1,000,000 per occurrence.
- C. Access to sufficient markets to obtain quotes from A-rated companies.
- D. Ability to act as broker in procuring insurance from the City's current providers.
- E. A perceived ability of the broker to design and negotiate a benefits program that meets the needs of the City.
- F. Experience working and understanding the public sector.
- G. Experience working and understanding union and non-union organizations.
- H. Experience/Knowledge designing Health Care Alliances.
- I. Experience with claim data, benchmarking and trend analysis to determine the best solutions for the City.
- J. Ability to provide proactive support to the City's HR function including dissemination of current general and legal updates as well as time-sensitive insurance carrier information.
- K. Demonstrated expertise in negotiating a benefit plan on behalf of clients similar to the City.
- L. Foremost emphasis on customer service and account management.

V. INSURANCE TO BE PLACED – EMPLOYEE BENEFIT PLANS

A. Benefits plans, including health, dental, and life similar to the existing plans, improvements to existing plans, as well as creative plans (such as cafeteria plans) that provide the best solutions that fit the culture and needs of the City, now and for future growth of the City. The City currently has ~126 employees, as well as retirees, eligible to be covered under these plans.

B. Vision Insurance plan and flexible spending account plan to be quoted as possible new benefits. Full time employees are eligible to be covered.

VI. REQUIRMENTS OF BROKER

A. To annually obtain quotes from at least two qualified insurance companies for health, dental, vision, flexible spending accounts, pharmacy benefit management services, and life insurance, and compare and evaluate coverage and premiums.

B. To deliver in a timely fashion, policies of coverage.

C. To provide advice and expertise regarding the type of insurance requested in this RFP.

D. To answer, or refer to the appropriate party, questions regarding coverage under these policies.

E. To provide specific services including:

Consulting & Service

General Consulting –

Be available to the City at any time for meetings / conference calls / and any employee issues that may arise. Provide additional services outside the scope of normal Brokerage Services.

Back Office Support-

Provide the City a level of Customer Service function that fluctuates depending on the City needs at any specific time. Some examples are:

- 1) Phone calls- Field calls that range in topic from issues with a doctor, problems with a prescription, basic questions about the Benefits, and many more. Serve as the HIPAA compliant extension of the City with all claims issues being referred to the Broker for resolution directly with the participant.
- 2) E-mails- Handle e-mails that encompass many topics concerning questions and/or problems an employee may be having with their Benefits.
- 3) Administer COBRA, FSA, HSA and HRA programs, if applicable.
- 4) Update the City on any health care (HIPPA, COBRA, etc) legislation.
- 5) Keep the City compliant of all health care legislation issue and provide ACA reporting data and assistance in completion of ACA related forms.
- 6) Provide the City claim data, benchmarking and trend analysis reporting quarterly.

Health and Wellness Education:

The Broker contracts with a company to provide Health and Wellness education opportunities, such as: plan education meetings, Health Fairs, Health and Wellness resources, training, etc. Annually, the broker will conduct education meetings with employees regarding benefit plans.

The goal of the Health and Wellness education is to communicate plan changes, new plan implementation and to educate employees about their own health.

Web Based Information Service:

The Broker contracts with a company to provide an online tool for all the City employees to utilize in benefits reviews. Service is instrumental in helping answer many employees' questions about the City Benefit Plans, claim status, and any general health question.

Health Care Alliances:

Provide general consulting should the City decide to become involved in the creation of or decide to participate in existing Health Care Alliances. Health Care Alliances allow participating organizations to obtain qualified services at competitive prices based upon unique program designs and group buying arrangements.

VII. COMPENSATION

Each proposal must include details regarding how the Broker anticipates being compensated for brokerage and consulting services to be provided. Please include details on those products or services that may be compensated via commission and alternatively the fee structure for any consulting services as outlined in Section VI.

VIII. CONTENT OF PROPOSALS

Each proposal shall include:

- A. Firm name, address, phone, and date established.
- B. Names and addresses of owners or significant stockholders (greater than 15%).
- C. Names of office principals and their experience in providing insurance and services of the type described in this RFP.
- D. The name of the account executive who will service the City's account, include their experience, qualifications, professional references and office location. Also include any other staff members who may also service the account, their availability and accessibility to the City's account.
- E. A detailed list of insurance companies that you can access and from which you can obtain quotes for Health, Dental and Life insurance similar to current City policies.
- F. A discussion of how you will handle the procurement of insurance and a description of services that you will provide under this contract.

- G. A discussion of your firm's resources and activities as they relate to knowledge and understanding of our industry.
- H. A description of your firm's philosophy for servicing an account and commitment to customer service and quality assurance.
- I. A description of your renewal process, timeliness, and implementation process.
- J. Information regarding resources your firm offers to assist with the administration of a benefits program.
- K. A description of the resources and tools your firm utilizes or has available for benchmarking.
- L. Provide a statement regarding the firm's view on implementing wellness programs in order to control healthcare costs. Describe the resources and tools offered to clients around this initiative.
- M. A copy of all licensing required.
- N. Evidence of insurance coverage as required above.
- O. References of three commercial clients and three public sector clients that can be contacted regarding the quality and competency of your firm and the account executive.

IX. SELECTION

Selection criteria will include the fee proposal, experience and qualifications of the firm and account executive assigned to the City's account, the description of how you will handle the account, access to markets for health, dental and life insurance, and overall clarity and responsiveness of the proposal to this RFP. Chosen firms will present their proposal to the City Manager and the Director of Finance.

The City Manager and the Director of Support Services will make the final selection based upon what is in the best interest of the City on or around July 19, 2022.

X. ASSURANCES

By responding to this RFP, each proposer assures the City that, if selected as the City's broker, he or she will:

- A. Make a diligent effort to place all insurance requested by the City at the lowest possible price consistent with adequate breadth of coverage and stability of insurers.
- B. Advise the City of ways in which coverage proposed or provided differ from that currently in place.
- C. Broker agrees to disclose to the City all commissions he or she is eligible to receive or has received from insurers providing coverage to the City under this contract.
- D. Not assign or transfer the City's account, or any portion of the City's business, without the City's prior written approval.
- E. Fully disclose to the City all quotes received from insurers, acting in the City's best interest at all times, and including disclosure of any business relationships with a carrier or insurer whereby the Broker receives income other than commissions properly identified and disclosed.
- F. Comply with all provisions of this RFP and their proposal throughout the term of appointment.



City of Highland

Finance Department

MEMO TO: Mayor Hemann and City Council Members

FROM: Jackie Heimburger, Director of Support Services
Chris Conrad, City Manager

SUBJECT: Recommendations for Health Insurance Package Renewal

DATE: October 6, 2022

Health Insurance Plan:

The City just recently received our final renewal numbers from Cigna. This past year we experienced a significant increase in our prescription drug benefits that caused the plan to pay out over \$350,000 more than what was collected. Over the last three years our prescription drugs grew by 160%. The increase has been negotiated to be 19.4%. This increase also comes with a change to our HSA plan. The HSA deductible will go from \$3000 to \$4000 for individual and \$6000 to \$8000 for family.

We are proposing to continue with the same plans (Base, Buy-Up and HSA). We are also proposing to continue contributing to the member's HSA accounts with a set amount monthly of \$50 for employee, \$75 for Employee/Children and Employee/Spouse and \$100 for family. The HSA plan continues to be well received and we are hopeful that more employees will be able to benefit from this offering in the upcoming year.

The City Manager and I are in agreement that it is in the City's best interest to continue with Cigna Healthcare and will continue our efforts to inform, educate, and engage our employees in efforts to contain the health care costs for the City and members of the plan.

Dental Insurance:

The dental renewal will continue with Metlife and there are no changes to premiums or the plan.

Voluntary Vision Insurance:

The vision plan will continue with Metlife and there are no premium or plan changes this year.

Medical Insurance:

Base Plan:

Employee Only: \$814.91

Employee +Spouse: \$1711.29

Employee + Child(ren): 1548.33

Family: \$2444.73

Buy Up Plan:

Employee: 860.54

Employee +Spouse: \$1807.18

Employee + Child(ren):\$1635.06

Family: \$2581.75

HSA:

Employee Only: \$716.45

Employee +Spouse: \$1504.58

Employee + Child(ren):\$1361.28

Family: \$2149.40

Recommendation Summary

In summary, we are requesting your approval of the plan changes for the 2022-2023 plan year by continuing to obtain coverage from Cigna Healthcare for medical and MetLife for vision and dental. If there are any questions or concerns, please let Chris or I know.

ORDINANCE NO: _____

AN ORDINANCE AMENDING CITY PERSONNEL POLICY MANUAL TO INCLUDE UPDATES ACCORING TO CHANGES TO POLICY AND ILLINOIS LAW

WHEREAS, the City of Highland, Madison County, Illinois (hereinafter “City”), is a non-home rule municipality duly established, existing and operating in accordance with the provisions of the Illinois Municipal Code (Section 5/1-1-1 et seq. of Chapter 65 of the Illinois Compiled Statutes); and

WHEREAS, City has determined the City Personnel Manual needs to be updated to reflect policy changes and changes to Illinois law; and

WHEREAS, City Staff and the City Labor Attorney reviewed the personnel manual and recommend the following revisions:

1. Organizational Chart –The organizational chart was updated to reflect the City of Highland’s current structure;
2. Employment Categories-Recommendation by the City Labor Attorney to remove the “Initial Evaluation Period” within this section;
3. Residency Requirement – We updated the residency to 18 miles of the corporate City limits to coincide with all the collective bargaining agreements;
4. Nepotism Policy – We have updated this policy to state that relatives may work for the city, but will not be allowed to work in the same department. An independent hiring committee will also be formed should a part-time or full-time applicant be a relative of a Council Member, Police and Fire board member, Mayor or City Director;
5. Work Related Injuries/Worker’s Compensation Benefits-If an employee is injured on the job or suffer a work-related illness they will be required to have post-accident testing;

6. Harassment-This policy was updated to allow employees to report harassment to any Department Director instead of just to the Director of Human Resources;
7. Dress Code– This policy was updated to let the Director of the Department to approve the attire for their department if it is not business casual;

and

WHEREAS, City has determined it necessary to amend the City Personnel Policy to reflect changes stated herein; and

WHEREAS, the City Council finds that the City Manager and/or Mayor should be authorized and directed, on behalf of the City, to execute whatever documents are necessary to amend the City Personnel Policy to reflect the changes stated herein.

NOW, THEREFORE, BE IT ORDAINED, by the City Council of the City of Highland, Illinois, as follows:

Section 1. The foregoing recitals are incorporated herein as findings of the City Council of the City of Highland, Illinois.

Section 2. The City Personnel Manual shall be amended as follows:

1. Organizational Chart –The organizational chart was updated to reflect the City of Highland’s current structure;
2. Employment Categories-Recommendation by the City Labor Attorney to remove the “Initial Evaluation Period” within this section;
3. Residency Requirement – We updated the residency to 18 miles of the corporate City limits to coincide with all the collective bargaining agreements;
4. Nepotism Policy – We have updated this policy to state that relatives may work for the city, but will not be allowed to work in the same department. An independent hiring committee will also be formed should a part-time or full-time applicant be a relative of a Council Member, Police and Fire board member, Mayor or City Director;
5. Work Related Injuries/Worker’s Compensation Benefits-If an employee is injured on the job or suffer a work-related illness they will be required to have post-accident testing;
6. Harassment-This policy was updated to allow employees to report harassment to any Department Director instead of just to the Director of Human Resources;

7. Dress Code– This policy was updated to let the Director of the Department to approve the attire for their department if it is not business casual;

Section 3. That this Ordinance shall be known as Ordinance No: _____ and shall be effective upon adoption with implementation date of _____

Passed by the City Council of the City of Highland, Illinois, and deposited and filed in the Office of the City Clerk, on the ____ day of _____, 2022, the vote being taken by ayes and noes, and entered upon the legislative records, as follows:

AYES:

NOES:

APPROVED:

Kevin B. Hemann
Mayor
City of Highland
Madison County, Illinois

ATTEST:

Barbara Bellm
City Clerk
City of Highland
Madison County, Illinois



City of Highland

MEMO TO: Mayor Hemann and City Council Members

FROM: Jackie Heimbürger, Director of Support Services

DATE: Wednesday, October 12, 2022

RE: **Updated Personnel Policy Manual**

The City Staff and City Labor Attorney reviewed the personnel manual and recommend the following revisions.

Summary of Changes:

Organizational Chart –The organizational chart was updated to reflect the City of Highland’s current structure.

Employment Categories-Recommendation by the City Labor Attorney to remove the “Initial Evaluation Period” within this section.

Residency Requirement – We updated the residency to 18 miles of the corporate City limits to coincide with all the collective bargaining agreements.

Nepotism Policy – We have updated this policy to state that relatives may work for the city, but will not be allowed to work in the same department. An independent hiring committee will also be formed should a part-time or full-time applicant be a relative of a Council Member, Police and Fire board member, Mayor or City Director

Work Related Injuries/Worker’s Compensation Benefits-If an employee is injured on the job or suffer a work-related illness they will be required to have post-accident testing.

Harassment-This policy was updated to allow employees to report harassment to any Department Director instead of just to the Director of Human Resources.

Dress Code– This policy was updated to let the Director of the Department to approve the attire for their department if it is not business casual.

Our intent going forward will be to review the personnel manual each year as employment laws are constantly changing and it is important that we keep up with all the changes.